

ProSpec Home Inspection of Long Island Property Inspection Report



2 Barry Dr, E. Northport, NY 11731
Inspection prepared for:
Date of Inspection: 6/12/2020 Time: 9:00 AM
Age of Home: unknown Size: 2,800 sq.ft.
Weather: Sunny, 79 F
Home completely renovated in 2007.

Inspector: Russell J. Classi, P.E.
Phone: (516) 480-1848
Email: prospecfli@gmail.com
www.nassauprofessionalhomeinspector.com



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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

ELECTRICAL		
Page 17 Item: 1	Electrical Service Entrance	<ul style="list-style-type: none"> The home had provisions to connect a portable backup generator to provide the home with electricity when power is not available from public utilities. Inspection of backup generators and their electrical components lies beyond the scope of the General Home Inspection. The Inspector recommends that before the expiration of your Inspection Objection Deadline you have this backup system inspected by a qualified electrical contractor.
Page 19 Item: 3	Main Panel Conditions	<ul style="list-style-type: none"> Double Tapped Breaker observed inside panel box (more than one electrical conductor attached).
BATHROOMS		
Page 35 Item: 1	Bathroom#B Condition	<ul style="list-style-type: none"> Sink faucet cold water handle was difficult to operate; suggest faucet repair.
Page 37 Item: 7	Bathroom#3 Condition	<ul style="list-style-type: none"> Shower wall corner grout (movement joint) is cracked. This is common; suggest replacing grout with matching silicone based sealant at corner movement joints.
EXTERIOR		
Page 45 Item: 1	EXTERIOR General	<ul style="list-style-type: none"> Sprinkler system rain sensor detached from gutter mount.
CHIMNEY		
Page 53 Item: 1	Chimney	<ul style="list-style-type: none"> Chimney mortar joints show signs of deterioration. Recommend a mason to renew mortar joints; repointing as required to prevent further degradation.

Summary Comments

1. Summary

- No major deficiencies were observed at the visible portions of the structural components of the home -- in normal condition for its age.
- Repairs recommended during the first year of occupancy are estimated to be: \$1,500 - \$2,000 based on the Report Summary.

Inspection Details

1. Attendees

Client present, Seller present, Buyer Agent present

2. Occupancy

Occupied - Furnished
Utilities were on at the time of inspection.

3. Orientation

Satellite Map



Satellite Map

Building Permits

1. Building Permits

- Recommend seller provide C.O. for the deck addition.

STRUCTURE

This report describes the foundation walls, floor slab, main floor and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guarantee that the foundation, and overall structure of the building is sound.

1. Structure Description

- Single Family House
- Colonial Style
- Gable roof noted
- Roof Structure: 2x8 Rafters 16" O.C. w/collar-ties, 2x10 ridge beam, Plywood roof boards.
- The inspector was unable to determine the exterior wall structure due to interior and exterior wall coverings.
- Floor Structure: 9x5 Wood main beam supported by steel lally columns, 2x8 Joists 16" O.C. (w/cross braces), T&G floor boards.
- Foundation: Poured Concrete w/exterior stucco veneer



Floor Structure: 9x5 Wood main beam supported by steel lally columns, 2x8 Joists 16" O.C. (w/cross braces), T&G floor boards.



Floor Structure: 9x5 Wood main beam supported by steel lally columns, 2x8 Joists 16" O.C.



Floor Structure: 9x5 Wood main beam supported by steel lally columns, Supplemental beam and columns noted.



Floor Structure: 2x8 Joists 16" O.C. (w/cross braces), T&G floor boards.

STRUCTURE Continued



Roof Structure: 2x8 Rafters 16" O.C., Plywood roof boards.



Roof Structure: 2x8 Rafters 16" O.C. w/collar-ties, 2x10 ridge beam, Plywood roof boards.

2. General Limitations & Conditions

- The General Home Inspection does not include evaluation of structural components hidden behind floor, wall, or ceiling coverings, but is visual and non-invasive only.
- The Inspector observed only minor deficiencies in the condition of the home structure at the time of the inspection. Notable exceptions will be listed in this report.
- Basement walls and ceilings were open.
- Insulation cover at joist cavities and perimeter band joist/s in basement.
- Storage of personal property clutter noted.
- Water Damage: None observed at the visible portions of the structure at time of inspection.

3. Wood Destroying Insect Insp.

- No signs of previous Treatment for termites was observed. Refer to NPMA-33 report form.
- No sign of termite damage/activity was observed at the visible portions of the structure. Refer to NPMA-33 report.

4. Foundation Walls

- No structural defects observed at the visible portions of the foundation walls - In normal condition for age.
- Interior foundation wall surfaces have been painted with masonry waterproofing paint.
- Flakes of concrete detached from the interior surface of the concrete foundation walls appeared to be caused by the effect of moisture diffusing through the foundation wall upon pockets of minerals in the concrete. This condition was limited in scope and will not affect the structural integrity of the foundation wall. It does indicate that some amount of moisture from the soil is finding its way though the wall, indicating some level of failure of the system(s) typically installed to prevent this condition.

STRUCTURE Continued



Flakes of concrete detached from the interior surface of the concrete foundation walls appeared to be caused by the effect of moisture diffusing through the foundation wall upon pockets of minerals in the concrete. This condition was limited in scope and will not affect the structural integrity of the foundation wall. It does indicate that some amount of moisture from the soil is finding its way through the wall, indicating some level of failure of the system(s) typically installed to prevent this condition. Interior foundation wall surfaces have been painted with masonry waterproofing paint.

5. Floor Slab/Foundation

- At the time of the inspection, the Inspector observed no deficiencies in the condition of the visible portions of the concrete floor slab -- In normal condition for its age.
- Inspection of the basement concrete floor slab was limited by the fact that part of the slab was hidden beneath floor covering materials. The Inspectors comments are limited to only those portions of the slab he could view directly.
- No evidence of water penetration was observed at the floor slab during the inspection.



At the time of the inspection, the Inspector observed no deficiencies in the condition of the visible portions of the concrete floor slab -- In normal condition for its age.

6. Beams & Columns

- No deficiencies were observed at the visible portions of the main beam and steel columns.

STRUCTURE Continued

7. Roof Structure

- No significant structural defects observed at the visible portions of the roof structure - In normal condition for its age.
- Roof ridge beams appeared straight and even overall.
- No evidence of moisture penetration at visible portions of the roof structure were observed at time of inspection.
- Vertical support of roof ridge beam noted.



No evidence of moisture penetration at visible portions of the roof structure were observed at time of inspection.

Basement

1. Basement Configuration

- Full Basement
- Foundation construction included an unfinished basement.

2. Basement General

- At the time of the inspection, the Inspector observed no deficiencies in the condition of the unfinished basement area. Inspection of unfinished basements typically includes evaluation of:
 - Basement floor
 - Foundation walls
 - Structure (floor, walls & ceiling)
 - Plumbing (water, sewer, gas and any sump pumps)
 - Electrical
 - Provisions for egress
 - **HVAC** (ducts and any equipment)
- Some areas of the basement were not visible due to the occupant's belongings. The Inspector recommends inspection of these portions of the basement for notable defects once access has been provided prior to close.



Play area



Some areas of the basement were not visible due to the occupant's belongings. The Inspector recommends inspection of these portions of the basement for notable defects once access has been provided prior to close.



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Central vacuum system was operated during inspection.

Basement Continued

3. Insulation

- The main floor (above play area) was insulated with fiberglass batts.



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4. Basement Windows

Type:

- Insulated glass windows noted.
- Vinyl framed Hopper windows noted.



Vinyl framed Hopper windows noted. Operated windows appeared functional.



Basement window opening infilled during 2007 renovation/expansion.

5. Basement Window Conditions

- Operated windows appeared functional, at time of inspection.

6. Heat Distribution

- No heat distribution elements were observed in unfinished basement.

Basement Continued

7. Dehumidification

Humidity Control: It is advised to use a Dehumidifier to maintain lower humidity levels and to prevent bio-growth in the basement. Acceptable levels are 45-55% during the cooling season and 35-45% during the heating season. Modern dehumidifiers are equipped with a humidity gauge to monitor humidity levels.



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Crawlspace

1. Crawlspace

- Partial Crawlspace (rear addition structure only)
- Readily accessible
- Crawlspace access via wall opening in basement.
- Conditions inspected: crawled in space
- Crawlspace floor is concrete.
- Dampness: None observed



Storage noted



Crawlspace floor is concrete. Dampness: None observed

2. Foundation Walls

- Visible areas of the foundation walls appeared satisfactory.
- No evidence of moisture penetration observed at the visible portions of the foundation wall at the time of inspection.



No evidence of moisture penetration observed at the visible portions of the foundation wall at the time of inspection.

3. Wood Destroying Insect Inspection

Observations:

- No sign of termite damage/activity noted at the visible portions of the crawlspace structure. Refer to NPMA-33 report.

4. Insulation

- Unfinished fiberglass batts noted in joist cavities and perimeter joist bays.

Crawlspace Continued



Unfinished fiberglass batts noted in joist cavities and perimeter joist bays.

5. Ventilation

- Screened vents noted at foundation walls.
- Crawlspace communicates with basement area for ventilation.



Screened vents noted at foundation walls.



Screened vents noted at foundation walls.

Crawlspace Continued



Screened vents noted at foundation walls.

6. Electrical / Lighting

- **GFCI** protected receptacle(s) in place and operational.
- Crawlspace Lighting was operable.

Attic

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Attic General

- Inspected from access location
- No significant defects observed at visible portions of the attic - In normal condition for its age.

2. Access

- Through ceiling return grille
- Attic Lighting was operable.

3. Insulation

Description:

- Fiberglass batts with kraft paper facing noted.
- Installed in joist cavities.
- Insulation depth varies 9+ inches (R-31 overall); Good Insulation.



Insulation depth varies 9+ inches (R-31 overall); Good Insulation.

4. Insulation Condition

- The inspector observed no deficiencies in the condition of the thermal insulation at the time of the inspection.

5. Ventilation

- Ridge exhaust venting noted
- minimal under eave soffit venting
- Recommend installing Thermostatically Controlled Power Ventilator for improved ventilation

Attic Continued



Ridge exhaust venting noted

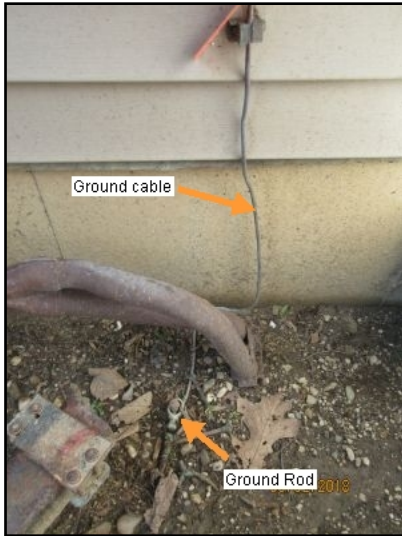
6. Electrical/Lighting

- Attic Lighting was operable.

ELECTRICAL

1. Electrical Service Entrance

- Overhead service drop; 120/240 volts.
- Overhead electrical service drop, mast and **rise** showed no major system safety or function concerns at time of inspection.
- Grounding rod and cable bonding noted at service entrance.
- Tree branches in close proximity to electrical service drop cable, recommend trimming back tree branches.
- **The home had provisions to connect a portable backup generator to provide the home with electricity when power is not available from public utilities. Inspection of backup generators and their electrical components lies beyond the scope of the General Home Inspection. The Inspector recommends that before the expiration of your **inspection** **Objection Deadline** you have this backup system inspected by a qualified electrical **contractor**.**



Grounding rod and cable bonding noted at service entrance.



Tree branches in close proximity to electrical service drop cable, recommend trimming back tree branches.



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ELECTRICAL Continued

2. Main Electrical Panel(s)

Description:

- Main Panel in Basement (front/side wall).
- Main Disconnect: 200 amp main **breaker** serves the property.
- Main Panel (40 spaces): 4 - Spare circuit breaker space(s) noted
- Main Panel: 1 - breaker in OFF position



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Main Disconnect: 200 amp main breaker serves the property.

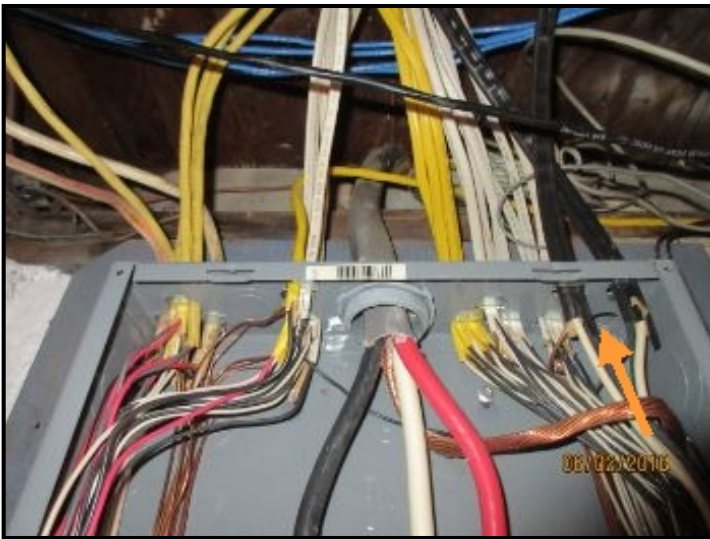


Main Panel: 1 - breaker in OFF position

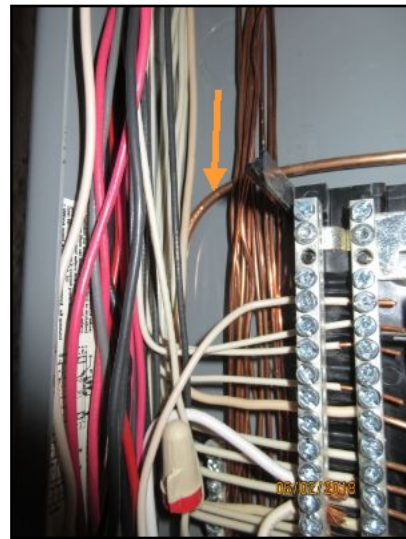
ELECTRICAL Continued

3. Main Panel Conditions

- Main panel interior checked.
- Ground wire connection at neutral bus noted. Have electrician ensure that ground is continuous.
- Unused knockouts should be blanked off to prevent vermin from entering the panel box.
- We recommend having a licensed electrician evaluate and repair the noted issues.
- Double Tapped Breaker(s) observed inside panel box (more than one electrical conductor attached). This is not standard practice, and may cause overheating or even an electrical fire. Recommend evaluation by a licensed electrician. Double tapping and lugging can create hot spots on breakers and neutral bars because they are not tightened to the correct torque--especially if two different size conductors are used. Because the hot [black] and neutral [white] wires are both current carrying conductors, the chance is then greater for potential hot spots. If the **double tap** or lug becomes loose, it begins to arc. As it arcs it builds up carbon. Carbon is then resistance and with more carbon buildup the more difficult it is for the conductor to make contact, thus increasing the current. The end result can be the breaker tripping because of the loose connection [current exceeding the rating of the breaker], or signs of overheating such as discolored wires, melted wires, etc, or even fire.
- **Double Tapped Breaker observed inside panel box (more than one electrical conductor attached).**



Unused knockouts should be blanked off to prevent vermin from entering the panel box.



Ground wire connection at neutral bus noted. Have electrician ensure that ground is continuous.



Double Tapped Breaker observed inside panel box (more than one electrical conductor attached).

ELECTRICAL Continued

4. Electrical Wiring

Type:

- Copper non-metallic sheathed cable noted.

5. Electrical Wiring Conditions

- No major system safety or function concerns noted at time of inspection.

GFCI & Receptacles

1. GFCI Protection

Observations:

- GFCI protected receptacles in place and operational.

2. Receptacles

Observations:

- Random Outlet Test: All receptacles tested were grounded and found to be wired correctly.

HEATING

1. Heating Equipment

Description:

- Heating Equipment located in basement was operable
- Burnham Gas-fired Forced Hot Water Boiler.



Burnham Gas-fired Forced Hot Water Boiler.

2. Heating Equip. Data/Service Life

- Boiler data plate/serial no. indicates a nominal heating capacity of 232,000 Btu/hr, and a manufacture date of 01/2006, (12 yrs old).
- Normal design service life expectancy of a Cast Iron Boiler is 40 yrs with proper maintenance.



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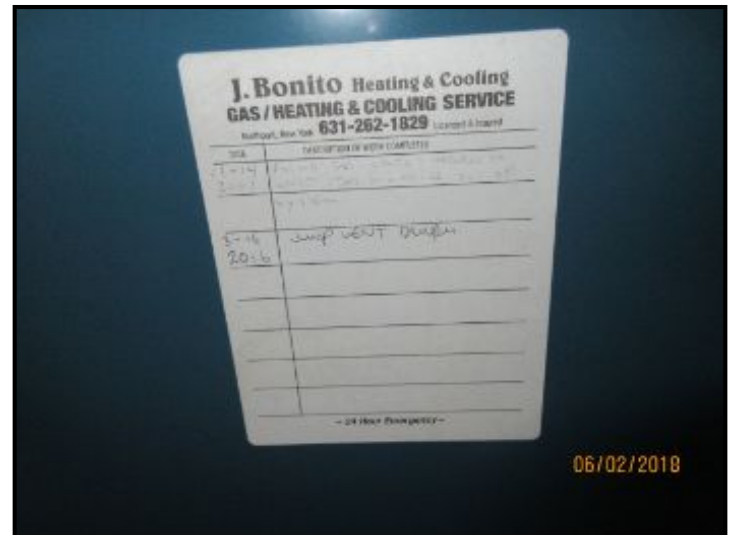
HEATING Continued

3. Heating Equip. Condition

- Remote Emergency Shut-off switch noted.
- Gas supply shut-off valve located at furnace/ boiler.
- No major system safety or function concerns noted at time of inspection.
- Burner fired by **thermostat**.
- **TPR** (Temperature Pressure Relief) valve extension pipe elbow appears to be made of non-approved materials. The TPR valve is designed to release water (and thus relieves pressure) if either the temp or pressure in the boiler gets too high. The extension piping should be constructed of an approved material, such as copper, CPVC, polyethylene, galvanized steel, polypropylene, or stainless steel. **PVC** and other non-approved plastics should not be used since they can easily melt. We recommend an HVAC contractor install a proper extension tube terminating no more than 6 inches above the floor or waste receptor. This tube should have no more than one elbow and no fittings or a threaded end.
- Boiler Service Tag indicates the boiler was last serviced on 3/16/2016. Recommend annual inspection/maintenance be performed by a licensed HVAC contractor to ensure safe and efficient operation.



Remote Emergency Shut-off switch noted.



Boiler Service Tag indicates the boiler was last serviced on 3/16/2016. Recommend annual inspection/maintenance be performed by a licensed HVAC contractor to ensure safe and efficient operation.



Burner fired by thermostat.



Gas supply shut-off valve located at furnace/ boiler.

HEATING Continued



TPR (Temperature Pressure Relief) valve extension pipe elbow appears to be made of non-approved materials. The TPR valve is designed to release water (and thus relieves pressure) if either the temp or pressure in the boiler gets too high. The extension piping should be constructed of an approved material, such as copper, CPVC, polyethylene, galvanized steel, polypropylene, or stainless steel. PVC and other non-approved plastics should not be used since they can easily melt. We recommend an HVAC contractor install a proper extension tube terminating no more than 6 inches above the floor or waste receptor. This tube should have no more than one elbow and no fittings or a threaded end.

4. Fuel - Gas Supply

- Public Gas Service: Meter, shutoff valve and vented regulator noted in basement.



Public Gas Service: Meter, shutoff valve and vented regulator noted in basement.

5. Furnace Venting

- Metal single wall vent pipe noted.

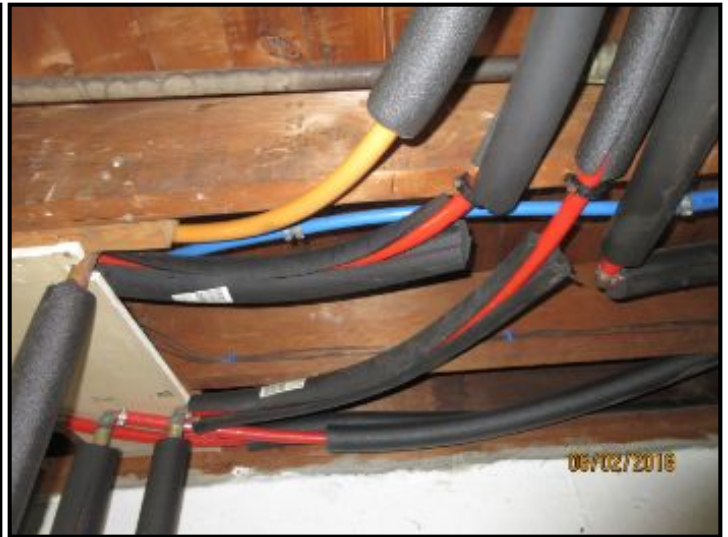
6. Heat Distribution

- 3-zone heating system noted.
- Copper and black iron piping noted.
- **PEX** tubing noted.
- Baseboard convectors noted
- Kick space heaters noted
- Maintenance: Forced hot water distribution piping and convectors/radiators generally need to be purged (bled) of entrapped air from time to time to enable their full heating capability.

HEATING Continued



3-zone heating system noted.



PEX tubing noted.

COOLING

1. A/C EQUIPMENT

Description:

- Multiple Central A/C split-systems, each with outdoor condenser and Ducted indoor air handler.
- AC#1 Condenser: corresponding air handler located in crawlspace serves the 1st floor and basement.
- AC#2 Condenser: corresponding air handler located in attic serves the 2nd floor.
- Condensing units located at South side of house.



Multiple Central A/C split-systems, each with outdoor condenser and Ducted indoor air handler.



AC#2 Condenser: corresponding air handler located in attic serves the 2nd floor.



AC#1 Condenser: corresponding air handler located in crawlspace serves the 1st floor and basement.



AC#@ Air handler located in attic operated via thermostat.

2. A/C Equip. Data/Service Life

- AC#1: Nordyne A/C condensing unit data plate/serial no. indicates a cooling capacity of 3 tons, and a manufacture date of 02/2007, (11 yrs old).
- AC#2: Nordyne A/C condensing unit data plate/serial no. indicates a cooling capacity of 3 tons, and a manufacture date of 02/2007, (11 yrs old).
- Condensing unit normal design service life expectancy is 20-25 yrs with some maintenance.
- Air handler/Evaporator unit normal design service life expectancy is 25 yrs with some maintenance.

COOLING Continued



AC#2: Nordyne A/C condensing unit data plate/serial no. indicates a cooling capacity of 3 tons, and a manufacture date of 02/2007, (11 yrs old).

AC#1: Nordyne A/C condensing unit data plate/serial no. indicates a cooling capacity of 3 tons, and a manufacture date of 02/2007, (11 yrs old).

3. A/C Equip. Condition

- NOTE: Air flow testing of HVAC systems is not part of the home inspection. Adjustments to the duct distribution system may be required to achieve the desired results based on the needs of the occupants. Recommend conferring with an HVAC technician.
- Both A/C systems operated by means of the thermostat.
- AC#1: Outdoor condenser is not level due to settling; this may shorten motor life. Suggest leveling mounting pad or unit itself.



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COOLING Continued



AC#1 Air handler located in crawlspace operating by means of the thermostat.

HVAC Syst. Components

1. Filters

- AC#1: Disposable filters located inside two filter-grilles at 1st floor hall wall.
- AC#2: Disposable filter located inside filter-grilles 2nd floor ceiling.



AC#1: Disposable filters located inside two filter-grilles at 1st floor hall wall.



AC#2: Disposable filter located inside filter-grilles 2nd floor ceiling.

Smoke/CO Detectors

1. Smoke/CO Detectors

- LIFE SAFETY: Maintain functioning Smoke and Carbon Monoxide detectors at each level of the home for Life Safety. Detectors are generally reliable for up to 5 yrs.



Smoke and CO detectors noted in basement.



LIFE SAFETY: Maintain functioning Smoke and Carbon Monoxide detectors at each level of the home for Life Safety. Detectors are generally reliable for up to 5 yrs.

PLUMBING

1. Water Service Entrance

- Public water service entrance located at basement front wall.
- Water Service Entrance: 3/4" Copper line, meter and shut-off valves. Ground connection observed; suggest having electrician ensure that ground is continuous.
- Main shutoff: Ball valve



Water Service Entrance: 3/4" Copper line, meter and shut-off valves. Ground connection observed; suggest having electrician ensure that ground is continuous.



Main shutoff: Ball valve

2. Water Piping

- Supply Pipe Materials observed include: Copper, Brass and PEX (cross-linked polyethylene) plastic tubing.
- Water supply pipes not fully visible for inspection due to finished ceilings and walls.
- Cross connections: Unknown.
- Leaks: No leaks observed at the visible portions of the supply piping.



Supply Pipe Materials observed included PEX (cross-linked polyethylene) plastic tubing.

3. Water Pressure

- Generally, the water pressure in the home was acceptable.

PLUMBING Continued

4. Waste/Drain/Vent Pipes

- Waste Pipe Materials observed include Cast Iron / PVC / Galvanized / Copper / Brass.
- Waste Pipe Exit located at the rear of the house/basement with whole-house trap/ vent/ clean-out.
- Whole-house trap is below floor/ grade and covered.
- Leaks: None observed in basement at time of inspection.
- Waste disposal type not known. Inquire with realtor.



Waste Pipe Exit located at the rear of the house/basement with whole-house trap/ vent/ clean-out. Whole-house trap is below floor/ grade and covered.

Water Heater

1. WATER HEATER

Description:

- Water heater located in the basement.
- General Electric 40 gallon capacity Water Heater data plate/serial no. indicates a manufacture date of 1/2007 (11 yrs old).
- Gas, direct-fired water heater
- Water Heater service life expectancy is typically 12-15 yrs.
- Unit is approaching its designed life expectancy (12-15 yrs). Consider replacement in the near term. We make no warranty, guarantee or estimation as to the remaining useful life of this unit.



Water heater located in the basement. Gas, direct-fired water heater.

2. Water Heater Condition

- Water heater was operable.
- Gas supply shut-off valve noted at water heater
- Temperature Pressure Relief (TPR) valve extension pipe is too short. This is a potential scalding concern as the TPR valve is designed to release water (and thus relieves pressure) if either the temp or pressure in the tank gets too high. We recommend an HVAC contractor install a proper extension tube terminating no more than 6 inches above the floor or waste receptor. This tube should have no more than one elbow and no fittings or a threaded end.

Water Heater Continued



Gas supply shut-off valve noted at water heater



Temperature Pressure Relief (TPR) valve extension pipe is too short. This is a potential scalding concern as the TPR valve is designed to release water (and thus relieves pressure) if either the temp or pressure in the tank gets too high. We recommend an HVAC contractor install a proper extension tube terminating no more than 6 inches above the floor or waste receptor. This tube should have no more than one elbow and no fittings or a threaded end.

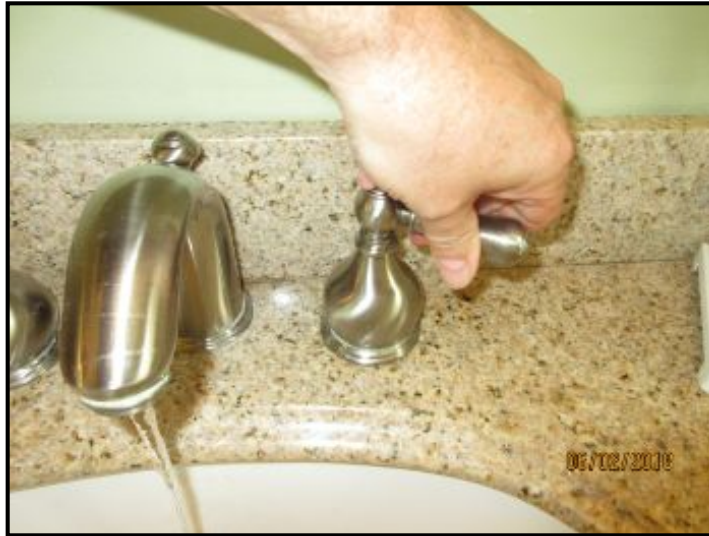
3. Venting

- Visible portions of the vent pipes appeared functional.

BATHROOMS

1. Bathroom#B Condition

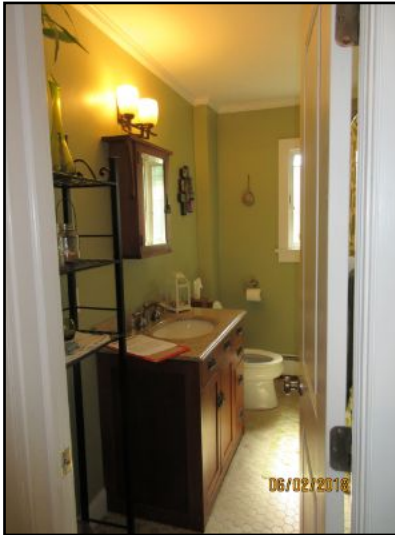
- Sink faucet cold water handle was difficult to operate; suggest faucet repair.



Sink faucet cold water handle was difficult to operate; suggest faucet repair.

2. Bathroom#1 Description

1st Floor Bathroom, Toilet, Vanity, Built-in Tub, Window, HVAC: Baseboard heat noted, Bathroom Floor: Ceramic tile, Shower Wall: Fiberglass surround



1st Floor Bathroom

3. Bathroom#1 Condition

- Leaks: None Observed
- GFCI protected receptacle(s) in place and operational.
- Vanity cabinet floor was cut out.

BATHROOMS Continued



Vanity cabinet floor was cut out.

4. Bathroom#2 Description

2nd Floor Hall Bathroom, Toilet, Lavatory, Built-in Tub, Exhaust Fan, Window, Bathroom Floor: Ceramic tile, Shower Wall: Ceramic tile

5. Bathroom#2 Condition

- Leaks: None Observed
- GFCI protected receptacle(s) in place and operational.
- Shower wall tile grout missing at shower handle mount; suggest repairing grout here.

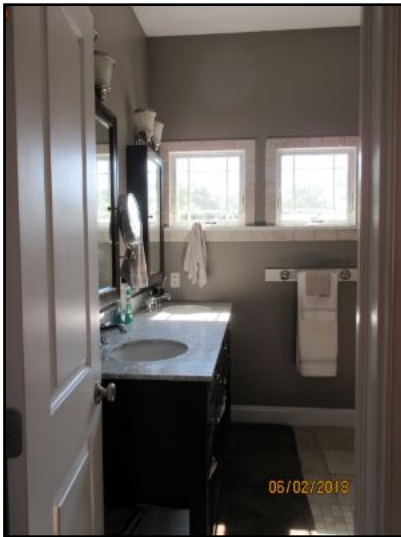


Shower wall tile grout missing at shower handle mount; suggest repairing grout here.

6. Bathroom#3 Description

Master Bathroom, Toilet, Vanity, Stall Shower , Exhaust Fan, Window, Bathroom Floor: Ceramic tile, Shower Wall: Ceramic tile, HVAC: Kick space heater noted

BATHROOMS Continued



Master Bathroom



Stall Shower

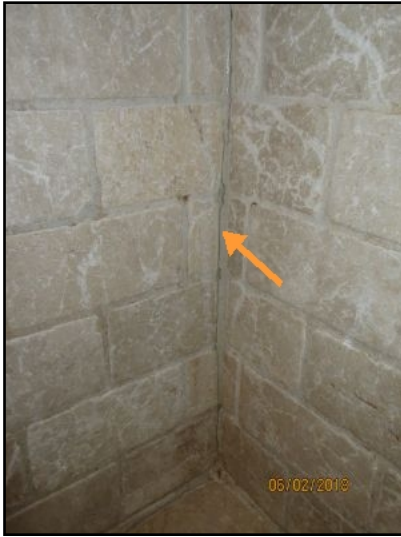


HVAC: Kick space heater noted

7. Bathroom#3 Condition

- Leaks: None Observed
- GFCI protected receptacle(s) in place and operational.
- Shower wall corner grout (movement joint) is cracked. This is common; suggest replacing grout with matching silicone based sealant at corner movement joints.

BATHROOMS Continued



Shower wall corner grout (movement joint) is cracked. This is common; suggest replacing grout with matching silicone based sealant at corner movement joints.



Shower wall corner grout (movement joint) is cracked. This is common; suggest replacing grout with matching silicone based sealant at corner movement joints.

KITCHEN - 1st Floor

1. Kitchen (First Floor)

- Kick space heater noted.



KITCHEN - 1st Floor Kitchen (First Floor)



Kick space heater noted.

2. Vent Hood/Fan

- Recirculating Vent Fan only. Exterior vented fans are generally required when gas range in place.



Microwave has built-in recirculating vent fan with filter and light. Recirculating Vent Fan only. Exterior vented fans are generally required when gas range in place.

3. Sink(s)

- Kitchen has a Ceramic sink.
- Operated normally, at time of inspection.
- Leaks: None Observed

KITCHEN - 1st Floor Continued



4. Range

- Gas Range
- Range operated when tested. No warranties or guarantees of this or any other appliance can be offered.
- Range appeared to be approximately 11 yrs old.



Range operated when tested. No warranties or guarantees of this or any other appliance can be offered.

5. Refrigerator(s)

- Refrigerator/freezer operating and frost free.
- Refrigerator appears to be 11 yrs old.

KITCHEN - 1st Floor Continued



Refrigerator appears to be 11 yrs old.



Refrigerator/freezer operating and frost free.

6. Dishwasher

- Dishwasher was operable.
- Dishwasher appeared to be approximately 11 yrs old.



Dishwasher was operable.

7. Microwave

- Microwave was operable at time of inspection.
- Microwave has built-in recirculating vent fan with filter and light.

8. Floor

- Engineered hardwood flooring noted

KITCHEN - 1st Floor Continued



Engineered hardwood flooring noted

INTERIOR

The Interior Areas section covers areas of the house that are not specifically part of the Kitchen, Bathrooms, Laundry, or areas covered elsewhere in the report. Interior Areas consist of general areas and items in the home. Within these areas the inspector performs a visual inspection and will report safety concerns, damage, wear and tear and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas, as the inspector generally does not move personal items.

1. Smoke/CO Detectors

- LIFE SAFETY: Maintain functioning Smoke and Carbon Monoxide detectors at each level of the home for Life Safety. Detectors are generally reliable for up to 5 yrs.

Windows

1. Window Types

- Double-pane, insulated windows were noted.
- Vinyl framed Casement windows noted.
- Wood framed Double Hung windows noted.

2. Window Condition

- At the time of the inspection, the Inspector observed no deficiencies in the interior condition and operation of windows of the home.

3. Window Operation

- In accordance with ASHI Standards, we do not test every window in the house, and particularly if it is furnished. We do test every unobstructed window in every bedroom to ensure that at least one provides an emergency exit.

EXTERIOR

1. EXTERIOR General

Observations:

- Sprinkler system rain sensor detached from gutter mount.



Sprinkler system rain sensor detached from gutter mount.



Rear entrance

2. North Exterior



EXTERIOR North Exterior

3. South Exterior

EXTERIOR Continued



EXTERIOR South Exterior

4. Southeast Exterior



EXTERIOR Southeast Exterior

5. West Exterior

EXTERIOR Continued



EXTERIOR West Exterior

Exterior Walls

This section describes the exterior wall coverings and trim. Inspectors are required to inspect the exterior wall coverings, flashing, trim, all exterior doors, the stoops, steps porches and their associated railings, any attached decks and balconies and eaves, soffits and fascias accessible from ground level.

1. Synthetic Siding

Observations:

- Vinyl siding noted.
- No major system safety or function concerns noted at time of inspection.

2. Foundation Exterior

Observations:

- No unusual settlement cracks were observed at the visible portions of the foundation walls at the time of inspection.
- Cracked off piece of foundation front corner is **cosmetic** only.
- No unusual settlement cracks were observed at the visible portions of the foundation walls at the time of inspection.
- **CRACKS:** (1/4" or less) Cracks/Holes present in foundation wall / floor. Cracks that are less than 1/4" are not commonly regarded as being structurally significant. Recommend sealing the cracks with epoxy filler to prevent water infiltration, and monitor for further movement.



Cracked off piece of foundation front corner is cosmetic only.



CRACKS: (1/4" or less) Cracks/Holes present in foundation wall / floor. Cracks that are less than 1/4" are not commonly regarded as being structurally significant. Recommend sealing the cracks with epoxy filler to prevent water infiltration, and monitor for further movement.

Exterior Trim

1. Exterior Trim General

Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of exterior trim.

ROOF

As with all areas of the house, we recommend that you examine the roof prior to closing to ensure that any potential leaks are addressed. Note that walking on a roof voids some manufacturer's warranties. Adequate attic ventilation, solar / wind exposure, and organic debris all affect the life expectancy of a roof. Always ask the seller about the history of the roof. On any home that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability and verify number of layers the roof areas. We certainly recommend this for any roof over 5 years of age.

1. Roof General

- Asphalt shingles noted.
- Inspected: Walked on lower roof. Upper roof inspected from lower roof and ground level with zoom lens.
- Some areas not visible from inspection level.
- Two layers of asphalt shingles noted at lower roof.
- Ice shield observed.



Two layers of asphalt shingles noted at lower roof.



Ice shield observed.

2. Roof Condition

- House top asphalt roof covering appeared to be approximately 11 yrs old.
- No major system safety or function concerns noted for the visible portions of the roof.
- Roof ridge beams appeared straight and even.
- Confer with seller about transferring the manufacturer warranty.



Roof ridge beams appeared straight and even.



Roof ridge beams appeared straight and even.

ROOF Continued



Confer with seller about transferring the manufacturer warranty.



No major system safety or function concerns noted for the visible portions of the roof.



House top asphalt roof covering appeared to be approximately 11 yrs old.



Upper roof in good condition.



Beginning signs of minor wear and tear likely caused by walking on roof.

ROOF Continued

3. Flashing

- Recommend re-sealing gaps in chimney flashing as a part of routine maintenance to prevent water entry.



Recommend re-sealing gaps in chimney flashing as a part of routine maintenance to prevent water entry.

4. Gutters & Downspouts

- Aluminum gutters & downspouts noted.
- Downspouts drain to underground dry well(s)



Downspouts drain to underground dry well(s)

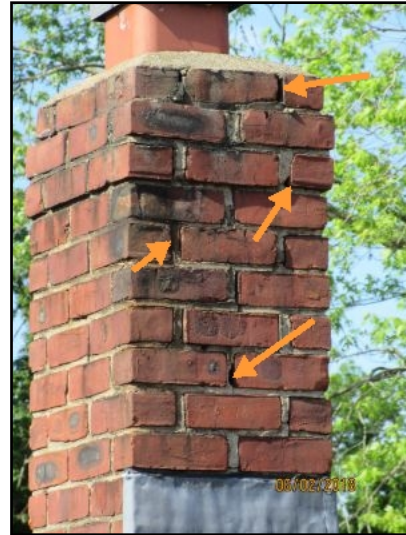
CHIMNEY

1. Chimney

- Brick chimney noted
- Limited review: Our chimney inspection is limited to visible accessible components only. Suggest further review by a qualified professional prior to close.
- Metal **chimney liner** observed.
- **Chimney mortar joints show signs of deterioration. Recommend a mason to renew mortar joints; repointing as required to prevent further degradation.**



Chimney mortar joints show signs of deterioration. Recommend a mason to renew mortar joints; repointing as required to prevent further degradation.



Chimney mortar joints show signs of deterioration. Recommend a mason to renew mortar joints; repointing as required to prevent further degradation.



Metal chimney liner observed.

GROUNDS

1. Grounds General



Koi pond at front noted (not inspected).



GROUNDS Grounds General



GROUNDS Grounds General

2. Driveway

Observations:

- Asphalt driveway noted.
- Asphalt driveways require sealing every 3-5 yrs to prevent freeze/thaw damage.
- Moderate cracks in driveway near sidewalk noted. Seal cracks to prevent subsequent water entry and freeze-thaw damage.

GROUNDS Continued



Moderate cracks in driveway near sidewalk noted. Seal cracks to prevent subsequent water entry and freeze-thaw damage.



Asphalt driveways require sealing every 3-5 yrs to prevent freeze/thaw damage.

3. Sidewalk & Walkway



No sidewalk noted

4. Hose Bibbs

Observations:

- Not all hose bibbs were functional at time of inspection. Suggest checking location and status of indoor isolation valve for inactive hose bibbs.

GROUNDS Continued



Not all hose bibbs were functional at time of inspection. Suggest checking location and status of indoor isolation valve for inactive hose bibbs.

Deck Area

1. DECK General

:

- LIMITATION: Limited review due to a lack of access to deck structure beneath.
- Inspection of the deck structure typically includes examination of the following:
 - Visible foundation
 - Posts (main support and **handrail**)
 - Diagonal bracing (permanently-installed only)
 - Adequately-sized/spaced fasteners
 - Adequate fastener schedule (spacing between fasteners)
 - Adequate connections between framing members.

This inspection is designed to ensure that the deck structure is in compliance with good building practices based on the Inspector's past experience and familiarity with good building practices. It will not confirm compliance to any building code, local requirements or to any engineering specifications.

- Recommend seller provide C.O. for the deck addition.
- At the time of the inspection, the Inspector observed no deficiencies in the condition of the visible portions of the deck.



Recommend seller provide C.O. for the deck addition.



LIMITATION: Limited review due to a lack of access to deck structure beneath.

2. Structure

- The basic deck structure was built of wood.

3. Planking

- Deck planking (the walking surface) was composed of wood (teak).
- At the time of the inspection, the Inspector observed no deficiencies in the condition of the deck planking (the walking surface).

4. Guardrails

- At the time of the inspection, the Inspector observed no deficiencies in the condition of the deck **guardrail** assemblies. Inspection of guardrails typically includes examination of the following:
 - attachment to the deck;
 - attachment to the home structure;
 - general condition; and
 - safety deficiencies.
- Guardrails meet the 36" min. height requirement.

Deck Area Continued



Guardrails meet the 36" min. height requirement.

General Remarks

1. General

GENERAL REMARKS:

You are advised to acquire estimates of repair as to any major defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs, further inspect the condition in order to discover and repair related problems that may not be identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to **closing** or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including HVAC professionals, electricians, engineers or roofers.

PRE-CLOSING WALK THROUGH:

The walk-through prior to closing is the time for Client to review and inspect the property. Conditions can change between the time of the home inspection and the time of closing. Restrictions that existed during the inspection may have been removed for the walk-through. Defects or problems that were not evident during the home inspection may be discovered during the walk-through. Client should be thorough during the walk-through.

Any defect or problem discovered during the walk-through should be negotiated with the owner/seller of the property prior to closing. Purchasing the property with a known defect or problem releases ProSpec Home Inspection of all responsibility. Client assumes responsibility for all known defects after settlement.

CONCLUSION:

We are proud of our service, and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components, and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window or door, or identified every problem. Also because our inspection is essentially visual, latent defects could exist. We can not see behind walls. Therefore, you should not regard our inspection as a guarantee or warranty. It is simply a report on the general condition of a property at a given point in time. As a homeowner, you should expect problems to occur. Roofs will leak, basements may have water problems, and systems may fail without warning. We can not predict future events. For these reasons, you should keep a comprehensive insurance policy current.

This report was written exclusively for our Client. It is not transferable to other people. The report is only supplemental to a seller's disclosure.

Thank you for taking the time to read this report, and call us if you have any questions. We are always attempting to improve the quality of our service and our report.

If you have further questions, please contact the author of this report.

Thank You for choosing ProSpec for your Home Inspection!

GARAGE

1. Garage General



GARAGE Garage General



Hot/Cold mixing valve at garage hose bibb noted for washing cars.

2. Garage Structure

Observations:

- Garage structure is integral to the house structure.
- No major system safety or function concerns noted at time of inspection.
- Limited review due to finished ceilings and walls.
- Limited review due to stored items and shelving.
- Garage raised foundation walls noted.



Limited review due to finished ceilings and walls.



Garage raised foundation walls noted.

GARAGE Continued

3. Floor

Observations:

- Bare concrete floor noted.
- Common settlement crack noted in garage concrete floor slab. Recommend sealing the cracks with epoxy filler to prevent water infiltration, and monitor for further movement.
- Longitudinal crack noted (crack parallel to the long axis of the floor slab) was visible in the garage floor slab. This condition is often caused by inadequate compaction of the soil before concrete foundation walls and floor placed. This type of cracking typically occurs in the first five years after original construction and then becomes stable, although the length of time before reaching stability can vary with soil characteristics and conditions that may effect the soil such as moisture levels.
- Garage concrete floor (visually accessible portions) appeared in acceptable condition.



Bare concrete floor noted. Common settlement crack noted in garage concrete floor slab. Recommend sealing the cracks with epoxy filler to prevent water infiltration, and monitor for further movement.

4. GFCI / Receptacles

Observations:

- GFCI protected receptacle(s) in place and operational.

5. Vehicle Door

Observations:

- Fiberglass insulated sectional roll-up door noted.
- No deficiencies observed.

6. Vehicle Door Opener

Observations:

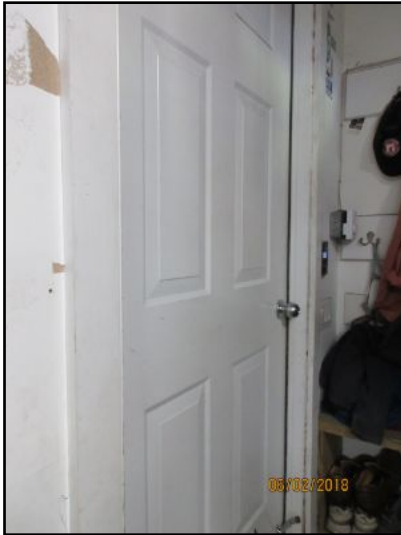
- Vehicle door opener and safety reverse feature was operable.

7. Fire Door

Observations:

- Appeared satisfactory and functional, at time of inspection.
- Metal fire door with automatic closer noted.

GARAGE Continued



Metal fire door with automatic closer noted.



Appeared satisfactory and functional, at time of inspection.

8. HVAC

Observations:

- Unit Heater with thermostat noted in garage.
- Window A/C unit not tested (exclusion).



Unit Heater with thermostat noted in garage.



Unit Heater with thermostat noted in garage.

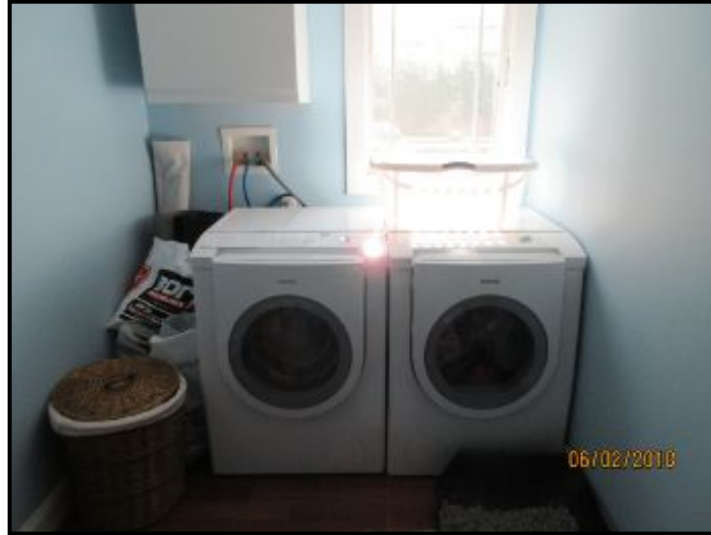
GARAGE Continued



Window A/C unit not tested (exclusion).

LAUNDRY - 1st Floor

1. Laundry - 1st Floor



LAUNDRY - 1st Floor Laundry - 1st Floor

2. Appliances - 1st Floor

Observations:

- Washer was operable.
- Estimated age of the Washer is 1+ yrs.
- Gas dryer was operable.
- Estimated age of the Dryer is 1+ yrs.
- Dryer vented to exterior.



Washer was operable. Estimated age of the Washer is 1+ yrs.



Gas dryer was operable. Estimated age of the Dryer is 1+ yrs.

Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
Breaker	A circuit breaker is an automatically operated electrical switch designed to protect an electrical circuit from damage caused by excess current from an overload or short circuit. Its basic function is to interrupt current flow after a fault is detected.
CO	Carbon monoxide (CO) is a colorless, odorless, poisonous gas that forms from incomplete combustion of fuels, such as natural or liquefied petroleum gas, oil, wood or coal. Any fuel-burning appliances which are malfunctioning or improperly installed can be a source of CO.
Chimney Liner	Chimney liners are a protective barrier usually made of metal such as stainless steel. Liners insulate heat moving through the chimney, protecting flammable areas of your home's structure. They also protect flue masonry chimneys from cracks or crumbling mortar due to repeated heating and cooling. Chimney liners create a clear and direct path for smoke to exit your home safely and efficiently. Without one, your chimney walls will eventually deteriorate and smoke will be able to seep through any cracks. When your chimney can't effectively release smoke outside, it greatly increases the risk of a chimney fire.
Closing	Closing is the final transaction between a buyer and seller of real property. At the closing, all agreements between buyer and seller are finalized, documents are signed and exchanged, money passes to the seller, and title to the property passes to the buyer.
Contractor	<p>The term "Contractor" used throughout the report refers to a qualified person or entity meeting the following:</p> <ul style="list-style-type: none"> • Is licensed (trade-specific) in the State of New York • Is insured • Has an account in good standing • Has a contractor's bond • Has a minimum of 5 years experience • Does quality work • Can provide references • Can provide the best possible product choices available to property owners
Double Tap	<p>A double tap occurs when two conductors are connected under one screw inside a panelboard. Most circuit breakers do not support double tapping, although some manufacturers, such as Square D and Cutler Hammer, make circuit breakers that are specially designed to accept two wires.</p> <p>Double tapping is a defect when it is used on incompatible devices. If the conductors come loose, they cause overheating and electrical arcing, and the risk of fire is also present. A double tap can be accommodated by installing a new circuit breaker compatible with double tapping. It is also possible to add another circuit breaker or install a tandem breaker to the existing breaker box.</p>

GFCI	A Ground-Fault Circuit Interrupter (GFCI) is the only protection device designed to protect people against electric shock from an electrical system. It is capable of de-energizing the circuit when even a small amount of current is flowing through the grounding system.
Guardrail	A building component or a system of building components located near the open sides of elevated walking surfaces that minimizes the possibility of a fall from the walking surface to a lower level.
HVAC	Heating, Ventilating and Air Conditioning
Handrail	A horizontal or sloping rail intended for grasping by the hand for guidance or support.
Inspection Objection Deadline	An Inspection Objection Deadline is the date by which any inspection objections must be reported to the seller if they are to be used as grounds to terminate the transaction without penalty. Alternatively, buyers can negotiate with sellers for repairs or credits. Confer with your realtor or lawyer on specific dates for this deadline.
PEX	PEX stands for cross-linked polyethylene. It is a type of plastic tubing made from high-density polyethylene. It is used for heating water distribution and water supply in plumbing systems.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.
Riser	A stair riser is the back, vertical part of a step. Staircase riser height translates to the distance you move your foot either up or down from one step to an adjacent step. This should be no more than 7 3/4 inches.
TPR	Temperature/Pressure Relief or TPR valves are safety devices installed on water heating appliances, such as boilers and domestic water supply heaters. TPRs are designed to automatically release water in the event that pressure or temperature in the water tank exceeds safe levels.
Thermostat	A device that automatically regulates temperature by activating or deactivating HVAC equipment when the temperature reaches a certain point. A Programmable Thermostat automatically sets back the temperature in your home based upon a predetermined schedule, while a non-programmable thermostat will stay at the same temperature 24 hours a day. You can set up a predetermined schedule and the thermostat will automatically adjust as you would like it to.

Name: Lisa Soletti
(516) 322-3981
avonaddiction@aol.com

Address: _____

City: _____

State, Zip: _____

Property Location

2 Barry Dr, E. Northport NY, 11731

This is our report of a visual inspection of the readily accessible areas of this building, in accordance with the terms and conditions contained in the PRE-INSPECTION AGREEMENT, which is a part of this report and incorporated herein. Please read the REMARKS printed on each page and call us for an explanation of any aspect of this report, written or printed, which you do not fully understand.

Date of Inspection: 6/2/2018 Time: 9:00 AM Weather conditions: Sunny Outside temperature: 79 °F

PRE-INSPECTION AGREEMENT

(PLEASE READ CAREFULLY)

COMPANY agrees to conduct an inspection for the purpose of informing the CUSTOMER of major deficiencies in the conditions of the property. The inspection and report are performed and prepared for the sole, confidential and exclusive use and possession of the CUSTOMER. The written report will include the following only:

- structural condition and basement
- electrical, plumbing, hot water heater, heating and air conditioning
- quality, condition and life expectancy of major systems
- general interior, including ceilings, walls, floors, windows, insulation and ventilation
- kitchen and appliances
- general exterior, including roof, gutter, chimney, drainage, grading

It is understood and agreed that this inspection will be of readily accessible areas of the building and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled.

Maintenance and other items may be discussed, but they are not a part of our inspection. The report is not a compliance inspection or certification for past or present governmental codes or regulations of any kind.

The inspection and report do not address and are not intended to address the possible presence of or danger from any potentially harmful substances and environmental hazards including but not limited to radon gas, lead paint, asbestos, urea formaldehyde, toxic or flammable chemicals, and water and airborne hazards. Also excluded are inspections of and reports on swimming pools, wells, septic systems, security systems, central vacuum systems, water softeners, sprinkler systems, fire and safety equipment and the presence or absence of rodents, termites and other insects.

The parties agree that the COMPANY, and/or its agents and employees, assume no liability or responsibility for the cost of repairing or replacing any unreported defect or deficiency, either current or arising in the future, or for any property damage, consequential damage or bodily injury of any nature. THE INSPECTION AND REPORT ARE NOT INTENDED OR TO BE USED AS A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, REGARDING THE ADEQUACY, PERFORMANCE OR CONDITION OF ANY INSPECTED STRUCTURE, ITEM OR SYSTEM. COMPANY IS NOT AN INSURER OF ANY INSPECTED CONDITIONS.

It is understood and agreed that should COMPANY and/or its agents or employees be found liable for any loss or damages resulting from a failure to perform any of its obligations, including but not limited to negligence, breach of contract, or otherwise, then the liability of COMPANY and/or its agents and employees shall be limited to a sum equal to the amount of the fee paid by the CUSTOMER for the inspection and report.

Acceptance and understanding of this agreement are hereby acknowledged:

Russ Classi 6/2/2018 X Lisa Soletti 6/2/18
 Company Representative Date Customer Date

PAYMENT RECORD

Total Fee \$ 400.00 Paid By: Check Cash Visa Master Card Amer. Express To Be Paid

Account No: _____ Name on Card: _____ Exp. Date: _____

Company Representative: _____ Date: _____

Wood Destroying Insect Inspection Report

Notice: Please read important consumer information on page 2.

Section I. General Information

Inspection Company, Address & Phone

ProSpec Engineering, PLLC
1911 State Street
Merrick, NY 11566

Company's Business Lic. No.

080096-1

Date of Inspection

06/02/2018

Address of Property Inspected

2 Barry Dr, E. Northport, NY 11731

Inspector's Name, Signature & Certification, Registration, or Lic. #

Russell Classi,
T1837109

Structure(s) Inspected

House & Garage

Section II. Inspection Findings

This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or defects. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

A. No visible evidence of wood destroying insects was observed.

B. Visible evidence of wood destroying insects was observed as follows:

1. Live insects (description and location): _____

2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location): _____

3. Visible damage from wood destroying insects was noted as follows (description and location): _____

NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

Yes No It appears that the structure(s) or a portion thereof may have been previously treated. Visible evidence of possible previous treatment: _____

The inspecting company can give no assurances with regard to work done by other companies. The company that performed the treatment should be contacted for information on treatment and any warranty or service agreement which may be in place.

Section III. Recommendations

No treatment recommended: (Explain if Box B in Section II is checked) _____

Recommend treatment for the control of: _____

Section IV. Obstructions and Inaccessible Areas

The following areas of the structure(s) inspected were obstructed or inaccessible:

Basement 5, 6, 7, 24

Crawlspace 5

Main Level 1, 3, 4, 6, 9

Attic 5, 11

Garage 1, 3, 6, 7, 14

Exterior 17

Porch _____

Addition _____

Other _____

The inspector may write out obstructions or use the following optional key:

- | | |
|-------------------------|--|
| 1. Fixed ceiling | 13. Only visual access |
| 2. Suspended ceiling | 14. Cluttered condition |
| 3. Fixed wall covering | 15. Standing water |
| 4. Floor covering | 16. Dense vegetation |
| 5. Insulation | 17. Exterior siding |
| 6. Cabinets or shelving | 18. Window well covers |
| 7. Stored items | 19. Wood pile |
| 8. Furnishings | 20. Snow |
| 9. Appliances | 21. Unsafe conditions |
| 10. No access or entry | 22. Rigid foam board |
| 11. Limited access | 23. Synthetic stucco |
| 12. No access beneath | 24. Duct work, plumbing, and/or wiring |

Section V. Additional Comments and Attachments (these are an integral part of the report)

Attachments _____

Signature of Seller(s) or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.

X

Signature of Buyer. The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.

X

Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

- 1. About the Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection. ***For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms.*** **This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection. This shall not be construed as a 90-day warranty. There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.**
- 2. Treatment Recommendation Guidelines Regarding Subterranean Termites:** FHA and VA require treatment when any active infestation of subterranean termites is found. If signs of subterranean termites — but no activity — are found in a structure that shows no evidence of having been treated for subterranean termites in the past, then a treatment should be recommended. A treatment may also be recommended for a previously treated structure showing evidence of subterranean termites — but no activity — if there is no documentation of a liquid treatment by a licensed pest control company within the previous five years unless the structure is presently under warranty or covered by a service agreement with a licensed pest control company.
- 3. Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.
- 4. Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.
- 5. Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.**