

# ProSpec Home Inspection of Long Island Property Inspection Report



213 Glenmore St, E. Williston NY, 11596  
Inspection prepared for: Name Deleted  
Date of Inspection: 3/24/2019 Time: 12:00 PM  
Age of Home: 88 yrs old  
Approx Year Built: 1930

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# Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Summary Comments		
Page 5 Item: 1	Summary	<ul style="list-style-type: none"> <li>• Termite damage and ongoing activity appears pervasive based on our observations at the limited access points at all four exposures. It is our judgment that further activity and damage is occurring in hidden areas of the structure.</li> </ul>
Building Permits		
Page 7 Item: 1	Building Permits	<ul style="list-style-type: none"> <li>• Suggest seller provide available C.O. for any additions to the house structure, i.e. enclosed porch.</li> </ul>
STRUCTURE		
Page 8 Item: 2	General Limitations & Conditions	<ul style="list-style-type: none"> <li>• At the time of the inspection, the Inspector observed deficiencies in the condition of the home structure. Notable exceptions will be listed in this report. The General Home Inspection does not include evaluation of structural components hidden behind floor, wall, or ceiling coverings, but is visual and non-invasive only.</li> </ul>
Page 9 Item: 5	Beams & Columns	<ul style="list-style-type: none"> <li>• Termite damaged floor joists, band joists and studs observed. Recommend further more invasive inspection of structural components by a qualified structural engineer and/or building <b>contractor</b>. It is the inspector's opinion that remedial structural repairs will be required.</li> </ul>
Page 9 Item: 7	Wood Destroying Insect Inspection	<ul style="list-style-type: none"> <li>• Termite damage and activity noted at band joist, sill plate and vertical studs located in boiler room at west, north and south foundation walls. Refer to NPMA-33 report.</li> <li>• Extensive termite damage noted at joists and sill plate in laundry and crawlspace along east &amp; north foundation walls.</li> </ul>
BASEMENT		
Page 13 Item: 5	Window Conditions	<ul style="list-style-type: none"> <li>• Broken sash wire/cord observed on window frame. This is a "Safety Concern". Sash wire/cord holds window in open position. Suggest repairs/replacement as needed to ensure safety.</li> <li>• Deterioration of wooden sills and frames noted. Replacement may be necessary at some point.</li> </ul>
Page 14 Item: 6	Ceilings	<ul style="list-style-type: none"> <li>• Access to utilities above basement ceiling is limited.</li> </ul>
Page 15 Item: 8	Floor Covering	<ul style="list-style-type: none"> <li>• The basement hardwood floor was framed and included an under-floor space.</li> <li>• Basement hardwood floor showed signs of past water damage.</li> <li>• Termite damage noted at hardwood floor covering in closet at north exterior wall.</li> <li>• Basement hardwood floor depression; signs of deterioration at south exterior wall.</li> </ul>
Page 16 Item: 9	Bio-Growth	<p>Mold-like bio growth observed. Professional testing &amp; evaluation advised. Possible organic substance noted. The United States Environmental Protection Association (EPA) states, "If you believe that you may have a hidden mold problem, consider hiring a professional." . If any area of the residence is suspected of having organic growth, or any member of your family or household is sensitive to mold we recommend Sampling &amp; Lab Testing to identify the types of mold (or other airborne allergens) that could be present.</p>
CRAWLSPACE		
Page 17 Item: 1	CRAWLSPACE	<ul style="list-style-type: none"> <li>• Boiler steam supply <b>pipe insulation</b> likely contains asbestos. Do not</li> </ul>

		<p>disturb this material. Options include encapsulation to prevent material from becoming friable and/or removal following EPA guidelines. Replacement insulation types such as fiberglass and foam are recommended.</p> <ul style="list-style-type: none"> <li>• Recommend insulating all uninsulated heat piping in crawlspace.</li> </ul>
Page 18 Item: 4	Ventilation	<ul style="list-style-type: none"> <li>• No venting observed. Recommend contacting a qualified contractor to install venting.</li> <li>• Suggest installing vents for proper moisture control.</li> </ul>
Page 18 Item: 5	Wood Destroying Insect Inspection	<ul style="list-style-type: none"> <li>• Termite damage and activity noted at crawlspace accessway.</li> <li>• Extensive termite damage and activity noted at joists in crawlspace along east foundation wall.</li> </ul>
<b>ELECTRICAL</b>		
Page 21 Item: 1	Electrical Service Entrance	<ul style="list-style-type: none"> <li>• Meter box and <b>meter</b> not properly attached to the house. Recommend licensed electrician to repair.</li> <li>• Older cloth covered type service cable down to meter. Recommend updating to cable in conduit as part of an electrical upgrade.</li> <li>• Grounding not observed at meter.</li> <li>• Vegetation contacting electric service meter. Recommend trimming back vegetation.</li> <li>• Recommend review by a licensed electrician for repair or replacement, as necessary, prior to close.</li> </ul>
Page 22 Item: 3	Main Panel Conditions	<ul style="list-style-type: none"> <li>• Ground wire connection at neutral bus noted. Have electrician ensure that ground is continuous.</li> </ul>
<b>HEATING</b>		
Page 27 Item: 3	Heating Equip. Condition	<ul style="list-style-type: none"> <li>• Sheetrock ceiling over boiler area missing. Current building standards require 5/8" layer of sheetrock cover for floor structure above. Suggest update.</li> <li>• Drip leak observed at boiler check valve connection. Repair needed.</li> </ul>
Page 28 Item: 5	Fuel - Oil Supply	<ul style="list-style-type: none"> <li>• Oil tank Buried underground at the front exterior of the house.</li> <li>• ProSpec Home Inspection does not determine the integrity or construction of underground fuel storage tanks. Underground oil tanks pose an environmental problem should they leak and can be <b>costly</b> to clean up. We recommend having the Seller test the tank for leaks and replace the tank should it not pass the leak test prior to settlement; for more info go to <a href="http://www.dec.ny.gov/chemical/32263.html">http://www.dec.ny.gov/chemical/32263.html</a></li> <li>• Underground oil tanks pose an environmental problem should they leak and can be costly to clean up. We recommend requesting to have the Seller test the tank for leaks prior to settlement; for more info go to <a href="http://www.dec.ny.gov/chemical/32263.html">http://www.dec.ny.gov/chemical/32263.html</a></li> </ul>
Page 30 Item: 7	Heat Distribution	<ul style="list-style-type: none"> <li>• Some sections of heating pipe insulation appears to contain asbestos. This material appeared to be in serviceable condition at the time of inspection. Asbestos materials are considered safe by the EPA if they are not disturbed, torn, ripped, or damaged. No torn, ripped, or damaged materials were observed. If client has any concerns regarding asbestos materials, an asbestos testing lab should be consulted for further review to ensure safety. Other options include encapsulation to prevent material from becoming friable or removal following EPA guidelines. Replace with new pipe insulation such as foam or fiberglass type.</li> </ul>
<b>PLUMBING</b>		
Page 33 Item: 2	Water Service Entrance	<ul style="list-style-type: none"> <li>• Water Service Entrance: 3/4" Lead pipe, meter and shut-off valves. Recommend having licensed electrician ensure that proper ground is installed.</li> </ul>
Page 34 Item: 3	Water Piping	<ul style="list-style-type: none"> <li>• Slop Sink faucet leaks at handle; recommend faucet repair or replacement.</li> <li>• Water piping in laundry room grounding observed. Recommend having licensed electrician ensure that proper plumbing grounding is installed.</li> </ul>
Page 34 Item: 5	Waste/Drain/Vent Pipes	<ul style="list-style-type: none"> <li>• Visible leaking under the slop sink. Source of existing leak(s) could not be determined; suggest Plumber to evaluate and repair.</li> <li>• *All plumbing leaks need immediate repair, prior to final walk-through / close.</li> </ul>
<b>BATHROOMS</b>		

Page 37 Item: 2	Bathroom#1 Condition	<ul style="list-style-type: none"> <li>• Sink faucet leaks at base; recommend faucet repair or replacement.</li> <li>• Bathroom walls bulged at few locations with tiles loosening. It's the inspectors opinion that these defects were caused by past water/plumbing leaks. Wall repairs required.</li> <li>• Defects noted at ceiling/walls suspected to be caused by past water/plumbing leaks.</li> </ul>
Page 39 Item: 4	Bathroom#2 Condition	<ul style="list-style-type: none"> <li>• Light fixture receptacle not <b>GFCI</b> protected. Recommend installing GFCI protected receptacles. Refer to Electrical section.</li> <li>• Bathroom missing wall outlet.</li> <li>• Visible leaking under the sink at drain pipe connection. Plumber to evaluate and repair.</li> <li>• Tub hot water valve handle stripped; could not test hot water at tub.</li> </ul>
<b>KITCHEN - 1st Floor</b>		
Page 42 Item: 2	GFCI / Receptacles	<ul style="list-style-type: none"> <li>• Cover plate missing. Provide missing receptacle and switch cover plates.</li> </ul>
Page 44 Item: 5	Sink(s)	<ul style="list-style-type: none"> <li>• Electric tape used for plumbing repair.</li> <li>• Kitchen faucet spout leaked. Recommend repair or replacement.</li> </ul>
<b>LAUNDRY</b>		
Page 48 Item: 3	Dryer Vent	<ul style="list-style-type: none"> <li>• The dryer vent pipe is crushed in spots. This should be replaced due to the fact that lint can accumulate in the crushed areas and catch fire.</li> </ul>
<b>INTERIOR</b>		
Page 51 Item: 4	Ceiling Conditions	<ul style="list-style-type: none"> <li>• Conditions above hung ceiling in Sitting room show evidence of past plumbing leak. Mold-Like bio-growth observed. Recommend professional testing, evaluation and possible abatement of mold.</li> </ul>
Page 52 Item: 6	Wall Conditions	<ul style="list-style-type: none"> <li>• Sitting room wall damage believed to be from past water/plumbing leak.</li> <li>• Signs of past water penetration/damage at dining room window below window.</li> <li>• Signs of past water penetration/damage at living room window below window.</li> </ul>
Page 54 Item: 9	Window Conditions	<ul style="list-style-type: none"> <li>• Cracked outer glass pane noted; tape repaired. Recommend proper repair.</li> <li>• Broken sash wire/cord observed on window frame. This is a "Safety Concern". Sash wire/cord holds window in open position. Suggest repairs/replacement as needed to ensure safety.</li> <li>• Fog/condensation observed in thermopane window. This is an indication of a failed seal. Recommend review for repair or replacement as necessary.</li> </ul>
Page 56 Item: 10	Doors	<ul style="list-style-type: none"> <li>• Several doors bind against frame and do not close properly. These appear to be the original doors. This is a sign of structural settlement.</li> </ul>
Page 60 Item: 12	Electrical / Lighting	<ul style="list-style-type: none"> <li>• Bedroom light fixture not operable and not securely mounted. Suggest electrician evaluate and repair.</li> </ul>
<b>CHIMNEY</b>		
Page 67 Item: 1	Chimney	<ul style="list-style-type: none"> <li>• Boiler chimney flue liner was not visually accessible. Recommend chimney contractor check to see if a s.s. <b>chimney liner</b> was installed at time of the boiler update. Combined chimney requires a flue liner for boiler.</li> </ul>
<b>EXTERIOR</b>		
Page 68 Item: 1	Gutters & Down Spouts	<ul style="list-style-type: none"> <li>• Downspout extension missing. Recommend extending downspouts 4 ft minimum where possible to direct run-off away from the foundation and prevent water seepage through foundation walls.</li> </ul>
Page 69 Item: 2	Masonry Veneer	<ul style="list-style-type: none"> <li>• Distorted/bloated and cracked bricks noted at house and garage exteriors. This appears to be from a process defect, such as underburning of brick which results in a higher degree of water absorption and less compressive strength. Water absorption combined with frost weathering may have caused the excessive brick face cracks observed.</li> <li>• Settlement crack noted at lower wall by driveway. Suggest mortar repair.</li> <li>• Settlement crack noted above window <b>inle</b>. Suggest repair.</li> </ul>
Page 70 Item: 5	Window Wells	<ul style="list-style-type: none"> <li>• Basement window well grate covered by vegetation where dryer vent exhausts. This must be kept clean since the warm moisture provided excellent conditions for termites. Refer to noted termite activity in laundry room.</li> </ul>

		<ul style="list-style-type: none"> <li>• Mortar damage noted at window wells. Repair and ensure gratings are secure.</li> </ul>
<b>GARAGE</b>		
Page 75 Item: 1	Garage General	<ul style="list-style-type: none"> <li>• Standing water observed inside east wall from snow melting alongside of garage and lack of proper roof drainage system. Suggest improving drainage here and adding gutters w/downspouts to control runoff and prevent water intrusion.</li> </ul>
Page 76 Item: 2	Garage Roof	<ul style="list-style-type: none"> <li>• Decay noted at several roof board locations.</li> <li>• Garage roof gutters and downspouts missing. Recommend adding these to direct water away from the foundation and prevent water intrusion.</li> </ul>
Page 78 Item: 3	Garage Structure	<ul style="list-style-type: none"> <li>• Sections of the wall boards covered over. Although termite activity was not observed here, wood to soil contact at east wall is an invitation to termites. Refer to NPMA-33 report form for treatment recommendation.</li> <li>• Extensive decay of wall boards noted.</li> <li>• Decay of roof boards and studs noted.</li> <li>• Termite damage noted at garage door jamb. Refer to NPMA-33 report form.</li> <li>• Recommend qualified framing contractor to evaluate and provide the needed repairs.</li> </ul>
Page 79 Item: 4	Floor	<ul style="list-style-type: none"> <li>• Water seepage up through floor crack noted.</li> <li>• Standing water observed near east wall.</li> </ul>
Page 80 Item: 5	Lighting	<ul style="list-style-type: none"> <li>• Light switch missing/inoperable.</li> </ul>
<b>Porch Area</b>		
Page 85 Item: 2	Porch Roof	<ul style="list-style-type: none"> <li>• Water damage at base of porch roof posts (2 plcs). Recommend replacing decayed wood.</li> </ul>

# Summary Comments

## 1. Summary

- Repairs recommended during the first year of occupancy are estimated to be: \$36,000 - \$42,000 based on the Report Summary.
- Termite damage and ongoing activity appears pervasive based on our observations at the limited access points at all four exposures. It is our judgment that further activity and damage is occurring in hidden areas of the structure.

# Inspection Details

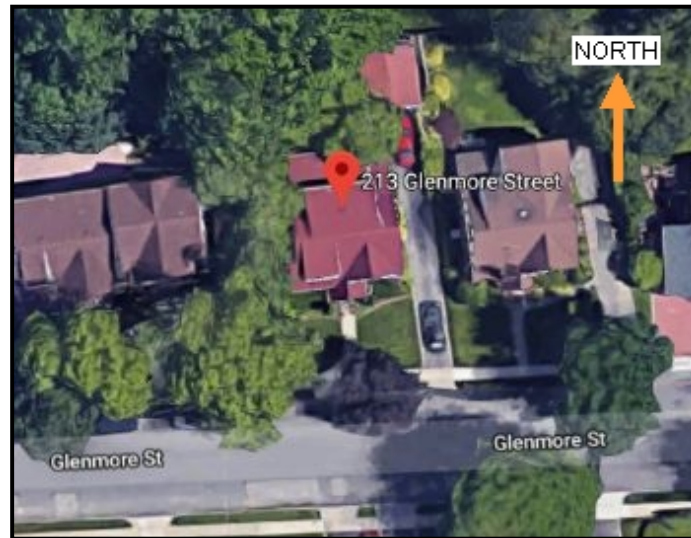
## 1. Attendees

Client present, Selling Agent present

## 2. Occupancy

Vacant - Furnished

## 3. Orientation



Satellite image

# Building Permits

## 1. Building Permits

Observations:

- Suggest seller provide available C.O. for any additions to the house structure, i.e. enclosed porch.

# STRUCTURE

This report describes the foundation walls, floor slab, main floor and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guarantee that the foundation, and overall structure of the building is sound.

## 1. Structure Description

### Description:

- Single Family House
- Tudor Style
- Gable roof noted
- Shed roof noted
- Foundation: Poured Concrete
- Floor Structure: Steel girder supported by steel lally columns, 3x8 Joists 16" O.C. (w/cross braces), T&G floor boards
- Roof structure including rafters, ridge beams and roof board type, sizes and conditions could not be inspected due to concealment by attic finishes and insulation.



3x8 Joists 16" O.C. (w/cross braces), T&G floor boards



Floor Structure: Steel girder supported by foundation wall and steel lally columns, 3x8 Joists 16" O.C. (w/cross braces), T&G floor boards

## 2. General Limitations & Conditions

### Observations:

- The home was old and would not comply with generally-accepted current standards. Homes are not required to be updated to meet new building standards as they are enacted. Homes are inspected within the context of their age, location, general quality, and building practices common at the time the home was built.
- Limited review due to mostly closed basement walls and ceilings.
- Signs of moisture/water penetration was noted.
- Signs of termite damage is noted. Refer to related sections and NPMA-33.
- No Major structural defects observed at visible portions of the roof structure - In normal condition for its age.
- Signs of structural settlement is noted.
- **At the time of the inspection, the Inspector observed deficiencies in the condition of the home structure. Notable exceptions will be listed in this report. The General Home Inspection does not include evaluation of structural components hidden behind floor, wall, or ceiling coverings, but is visual and non-invasive only.**

# STRUCTURE Continued

## 3. Foundation Walls

### Observations:

- Limited visual access and review of foundation wall interior due to finishing systems cover.
- Visible portions of foundation walls were dry at the time of the inspection.
- No unusual settlement cracks were observed at the visible portions of the foundation walls at the time of inspection.
- Evidence of past water penetration observed.

## 4. Floor/Foundation Slab

### Observations:

- **LIMITATION:** The majority of the concrete basement floor slab was not visible due to floor coverings in the basement.
- Visible areas of the concrete slab appear satisfactory.

## 5. Beams & Columns

### Observations:

- Columns and main beams were mostly finished/concealed, unable to fully inspect.
- No deficiencies were observed at the visible portions of the main girder and steel lally columns.
- **Termite damaged floor joists, band joists and studs observed. Recommend further more invasive inspection of structural components by a qualified structural engineer and/or building contractor. It is the inspector's opinion that remedial structural repairs will be required.**

## 6. Roof Structure

### Observations:

- Limited review due to closed attic walls and ceilings.
- Limited review due to insulation cover at rafter cavities.
- No Major structural defects observed at visible portions of the roof structure - In normal condition for its age.

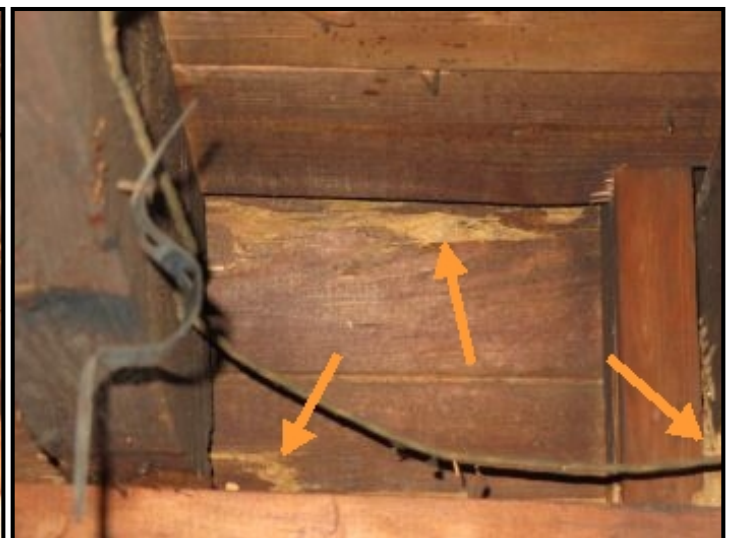
## 7. Wood Destroying Insect Inspection

### Observations:

- No signs of previous treatment for termites was observed.
- Termite damage and activity noted. Refer to NPMA-33 report form.
- **Termite damage and activity noted at band joist, sill plate and vertical studs located in boiler room at west, north and south foundation walls. Refer to NPMA-33 report.**
- **Extensive termite damage noted at joists and sill plate in laundry and crawlspace along east & north foundation walls.**



Termite damage noted at band joist, sill plate and vertical studs located in boiler room at north foundation wall. Refer to NPMA-33 report.



Termite damage noted at band joist, sill plate and vertical studs located in boiler room at north foundation wall. Refer to NPMA-33 report.

# STRUCTURE Continued



Termite damage noted at vertical studs located in boiler room at north foundation walls. Refer to NPMA-33 report.



Termite damage and activity noted at west wall in boiler. Refer to NPMA-33 report form.



Termite damage noted at band joist and sill plate located in boiler room at south foundation wall.



Termite damage noted at joist and sill plate located in boiler room at south foundation wall. Refer to NPMA-33 report.

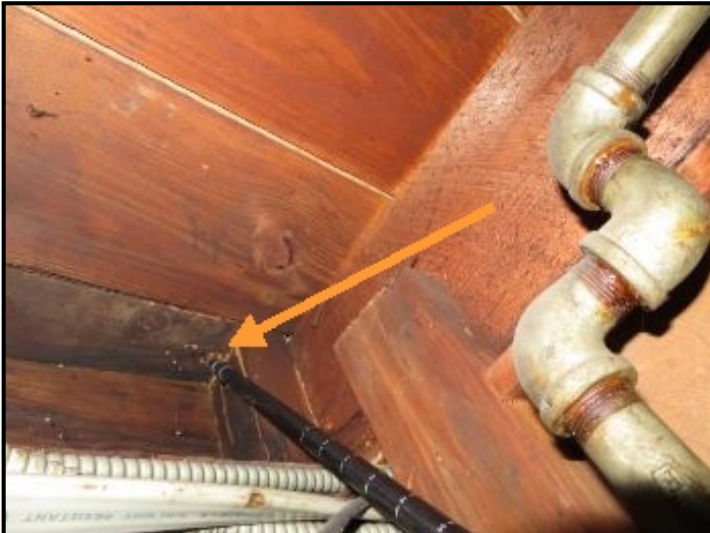
# STRUCTURE Continued



Termite damage noted at joist and sill plate located in boiler room at south foundation wall. Refer to NPMA-33 report.



Extensive termite damage noted at sill plate in laundry along east foundation wall.



Termite damage noted at floor board and vertical stud located in gas meter closet at south foundation wall.



Extensive termite damage noted at joists and sill plate in laundry and crawlspace along east foundation wall.

# BASEMENT

## 1. Basement Configuration

Observations:

- Foundation construction included a finished basement.
- Full Basement

## 2. Basement General Condition

Observations:

- At the time of the inspection, the Inspector observed no deficiencies in the condition of the finished basement. Most of the structure was not visible due to floor, wall and ceiling coverings. Inspection of unfinished basements typically includes examination of:
  - Visible structure
  - Floor coverings
  - Wall surfaces
  - Ceiling surfaces
  - Provisions for egress
  - Provisions for accommodation of expansive soil
  - General interior
- Evidence of past water penetration observed.
- There were signs of past water damage to baseboard and paneling; however, no active moisture was detected during the inspection.



Evidence of past water penetration observed.

## 3. Electrical

Observations:

- Existing electrical outlets are the older ungrounded 2-prong type. Suggest electrician install grounded 3-prong outlets.

## BASEMENT Continued



Existing electrical outlets are the older ungrounded 2-prong type. Suggest electrician install grounded 3-prong outlets.

### 4. Windows

Type:

- Original non-insulated, single pane windows noted.
- Wood framed Double Hung windows noted.
- DEFERRED  COST: Windows are original, uninsulated type. Recommend updating basement windows to thermally insulated type vinyl framed windows for energy efficiency and low maintenance.

### 5. Window Conditions

Observations:

- Broken sash wire/cord observed on window frame. This is a "Safety Concern". Sash wire/cord holds window in open position. Suggest repairs/replacement as needed to ensure safety.
- Deterioration of wooden sills and frames noted. Replacement may be necessary at some point.



Broken sash wire/cord observed on window frame. This is a "Safety Concern". Sash wire/cord holds window in open position. Suggest repairs/replacement as needed to ensure safety.



Deterioration of wooden sills and frames noted. Replacement may be necessary at some point.

## BASEMENT Continued



Deterioration of wooden sills and frames noted. Replacement may be necessary at some point.



Deterioration of wooden sills and frames noted. Replacement may be necessary at some point.

### 6. Ceilings

#### Observations:

- Water damage observed at basement ceiling caused by either past plumbing leaks. Suggest monitoring for recurrence and repair as necessary.
- Residential Standard: Minimum Height: Habitable space, hallways and portions of basements containing these spaces shall have a ceiling height of not less than 7 feet. Bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 6 feet 8 inches. Beams, girders, ducts or other obstructions in basements containing habitable space shall be permitted to project to within 6 feet 4 inches of the finished floor.
- Basement ceiling height is approximately 6'-6" of the finished floor.
- **Access to utilities above basement ceiling is limited.**



Water damage observed at basement ceiling caused by either past plumbing leaks. Suggest monitoring for recurrence and repair as necessary.



Access to utilities above basement ceiling is limited.

### 7. Floor Slab

#### Observations:

- Because the General Home Inspection is a visual inspection, inspection of the basement concrete floor slab is limited by the fact that most of the slab was hidden beneath floor covering materials. The Inspectors comments are limited to only those portions of the slab he could view directly.

# BASEMENT Continued

## 8. Floor Covering

Observations:

- The basement hardwood floor was framed and included an under-floor space.
- Basement hardwood floor showed signs of past water damage.
- Termite damage noted at hardwood floor covering in closet at north exterior wall.
- Basement hardwood floor depression; signs of deterioration at south exterior wall.



The basement floor was framed and included an under-floor space.



Basement hardwood floor showed signs of past water damage.



Termite damage noted at hardwood floor covering in closet at north exterior wall.



Basement hardwood floor depression; signs of deterioration at south exterior wall.

## BASEMENT Continued



Basement hardwood floor depression; signs of deterioration at south exterior wall.

### 9. Bio-Growth

Observations: **Mold-like bio growth observed. Professional testing & evaluation advised.**  
**Possible organic substance noted. The United States Environmental Protection Association (EPA) states, "If you believe that you may have a hidden mold problem, consider hiring a professional." . If any area of the residence is suspected of having organic growth, or any member of your family or household is sensitive to mold we recommend Sampling & Lab Testing to identify the types of mold (or other airborne allergens) that could be present.**



Mold-like bio growth observed. Professional testing & evaluation advised.



Possible organic substance noted. The United States Environmental Protection Association (EPA) states, "If you believe that you may have a hidden mold problem, consider hiring a professional." . If any area of the residence is suspected of having organic growth, or any member of your family or household is sensitive to mold we recommend Sampling & Lab Testing to identify the types of mold (or other airborne allergens) that could be present.

# CRAWLSPACE

## 1. CRAWLSPACE

Observations:

- Partial Crawlspace
- Crawlspace access is too restrictive. Recommend providing a larger / additional access way.
- Conditions inspected: visually from access
- Crawlspace floor is dirt.
- Boiler steam supply **pipe insulation** likely contains asbestos. Do not disturb this material. Options include encapsulation to prevent material from becoming friable and/or removal following EPA guidelines. Replacement insulation types such as fiberglass and foam are recommended.
- Recommend insulating all uninsulated heat piping in crawlspace.



Boiler steam supply pipe insulation likely contains asbestos. Do not disturb this material. Options include encapsulation to prevent material from becoming friable and/or removal following EPA guidelines. Replacement insulation types such as fiberglass and foam are recommended.

Crawlspace access is too restrictive. Recommend providing a larger / additional access way.



CRAWLSPACE CRAWLSPACE

Crawlspace floor is dirt.

## 2. Foundation Walls

Observations:

- Evidence of water penetration observed; moisture stains at block walls.

# CRAWLSPACE Continued

## 3. INSULATION

Observations:

- Recommend adding insulation to floor joist cavities and perimeter joist bays of structure to enhance the homes heating efficiency.
- Insulation missing in crawlspace. Recommend adding insulation to floor joist cavities and perimeter joist bays of structure to enhance the homes heating efficiency.

## 4. Ventilation

Observations:

- No venting observed. Recommend contacting a qualified contractor to install venting.
- Suggest installing vents for proper moisture control.

## 5. Wood Destroying Insect Inspection

Observations:

- Termite damage and activity noted at crawlspace accessway.
- Extensive termite damage and activity noted at joists in crawlspace along east foundation wall.



Termite damage and activity noted at crawlspace accessway.



Extensive termite damage and activity noted at joists in crawlspace along east foundation wall.

# ATTIC

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

## 1. Attic General

Observations:

- Limited access due to finished attic area.
- Eaves space(s) only.

## 2. Access

Observations:

- Eaves space accessways at west side only.
- Limited access to eave spaces. Suggest installing additional access.
- No attic light.

## 3. Ventilation

Observations:

- Ridge exhaust venting noted
- No inlet vents observed.

## 4. Insulation

Description:

- Fiberglass batts with kraft paper facing noted.
- Installed in rafter cavities.
- Loose fill insulation noted.
- Insulation depth varies 3 - 4 inches (R-12 overall); Poor insulation by current standards. Latest energy conservation standards call for 9-10 inches (R-30). Additional insulation should be installed where possible for enhanced energy efficiency of the home.



Fiberglass batts with kraft paper facing noted.



Installed in rafter cavities. Loose fill insulation noted.

## ATTIC Continued



Fiberglass batts with kraft paper facing noted.

### 5. Insulation Condition

Observations:

- Floored attic space.

# ELECTRICAL

## 1. Electrical Service Entrance

### Observations:

- Overhead service drop; 120/240 volts.
- Meter box and **riser** not properly attached to the house. Recommend licensed electrician to repair.
- Older cloth covered type service cable down to meter. Recommend updating to cable in conduit as part of an electrical upgrade.
- Grounding not observed at meter.
- Vegetation contacting electric service meter. Recommend trimming back vegetation.
- Recommend review by a licensed electrician for repair or replacement, as necessary, prior to close.



Overhead service drop; 120/240 volts.



Meter box and riser not properly attached to the house. Recommend licensed electrician to repair.



Vegetation contacting electric service meter. Recommend trimming back vegetation.

## 2. Main Electrical Panel(s)

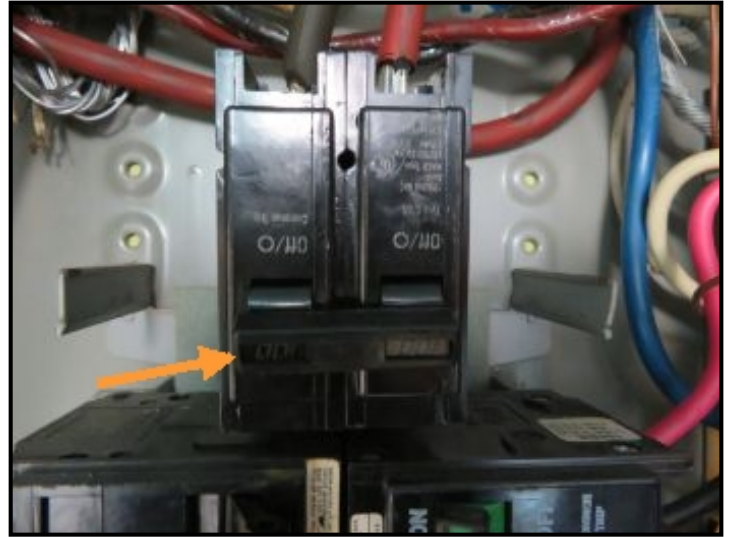
### Description:

- Main Panel in Basement laundry room.
- Main Panel: 100 amp main **breaker** serves the property.
- Main Panel (20 spaces): 9 - Spare circuit breaker space(s) noted
- Main Panel: 0 - breaker(s) in OFF position
- Sub Panel Supply: 30 amp breaker supplies sub panel located in boiler room.

# ELECTRICAL Continued



Main Panel in Basement laundry room.



Main Panel: 100 amp main breaker serves the property.



Sub Panel Supply: 30 amp breaker supplies sub panel located in boiler room.

## 3. Main Panel Conditions

### Observations:

- Ground wire connection at neutral bus noted. Have electrician ensure that ground is continuous.

## ELECTRICAL Continued



Ground wire connection at neutral bus noted. Have electrician ensure that ground is continuous.

### 4. Electrical Sub Panel(s)

#### Description:

- Sub Panel in Boiler Room.
- Power Source: Sub panel is fed from the 30 amp breaker located in main panel.
- Sub Panel (6 space): 0 - Spare circuit breaker spaces noted
- Sub Panel: 0 - breakers in OFF position
- Old type fused disconnect switch noted at sub panel.



Sub Panel in Boiler Room.

### 5. Sub Panel Conditions

#### Observations:

- No major system safety or function concerns noted at time of inspection at sub panel box.

# ELECTRICAL Continued



No major system safety or function concerns noted at time of inspection at sub panel box.



Old type fused disconnect switch noted.

## 6. Electrical Wiring

- Copper non-metallic sheathed cable noted.
- Copper metallic armor sheathed cables noted.
- Older cloth covered cables noted.
- Aluminum non-metallic sheathed cable noted.



Aluminum non-metallic sheathed cable noted.



Various wire types noted

# GFCI & Receptacles

## 1. GFCI Protection

Observations:

- **GFCI** protected receptacles noted missing or defective at Bathroom and Laundry.
- GFCI protected receptacles are currently required in all bathrooms, kitchen counter tops, garages, outdoors, laundry areas, unfinished basements, crawlspaces at or below grade, and other potentially wet areas. --> We recommend an electrician provide updates as noted for occupant safety.

## 2. Receptacles

Observations:

- 2-Prong Outlets -

The home contained outdated, ungrounded 2-prong electrical outlets. Although this condition may have been commonly considered safe or acceptable at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider updating the existing condition to meet generally-accepted current standards.

- Since ungrounded receptacles were noted in the home, buyer is cautioned that proper grounding is strongly urged where sensitive electronic equipment is used. Ungrounded receptacles do not offer protection for computers etc. Consultation with a qualified electrical contractor is recommended.

# HEATING

## 1. Heating Equipment

### Description:

- Heating Equipment located in basement and operable
- Peerless Oil-fired Cast Iron Forced Hot Water Boiler with integral Tankless Domestic Water Heater.



Peerless Oil-fired Cast Iron Forced Hot Water Boiler with integral Tankless Domestic Water Heater.

## 2. Heating Equip. Data/Service Life

- Boiler data plate/serial no. indicates a nominal heating capacity of 156,000 Btu/hr, and a manufacture date of 7/2015, (3 yrs old).
- Normal design service life expectancy of a Cast Iron Boiler is 40 yrs with proper maintenance.



Boiler data plate/serial no. indicates a nominal heating capacity of 156,000 Btu/hr, and a manufacture date of 7/2015, (3 yrs old).

# HEATING Continued

## 3. Heating Equip. Condition

Observations:

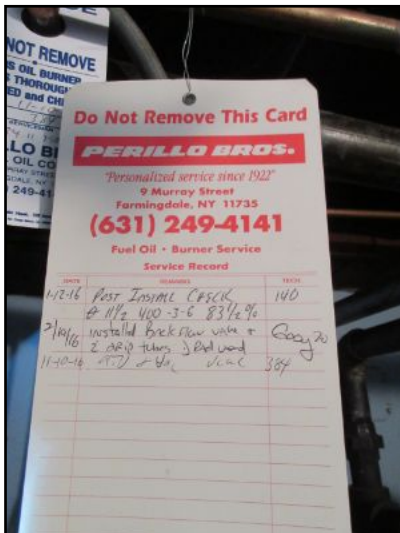
- Oil Burner: Remote Emergency Shut-off switch was functional.
- Furnace Service Tag indicates the boiler was last serviced on 11 2016. Recommend annual inspection/maintenance be performed by a licensed HVAC contractor to ensure safe and efficient operation.
- Burner fired by **hermosta**.
- Oil shut-off valve and filter noted at burner.
- **IPR** (Temperature Pressure Relief) valve and discharge pipe show no deficiencies.
- **Sheetrock ceiling over boiler area missing. Current building standards require 5/8" layer of sheetrock cover for floor structure above. Suggest update.**
- **Drip leak observed at boiler check valve connection. Repair needed.**



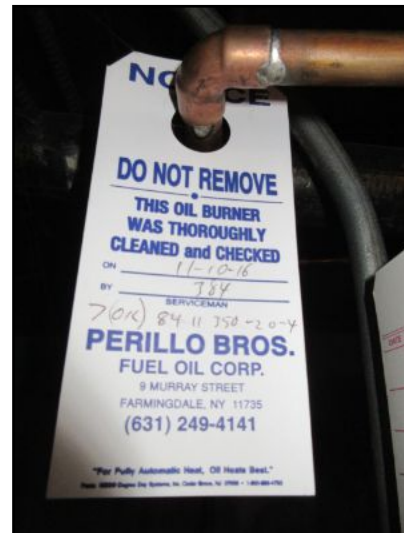
Oil Burner: Remote Emergency Shut-off switch was functional.



Oil shut-off valve and filters noted at burner.



Furnace Service Tag indicates the boiler was last serviced on 11 2016. Recommend annual inspection/maintenance be performed by a licensed HVAC contractor to ensure safe and efficient operation.



Furnace Service Tag indicates the boiler was last serviced on 11 2016. Recommend annual inspection/maintenance be performed by a licensed HVAC contractor to ensure safe and efficient operation.

## HEATING Continued



Drip leak observed at boiler check valve connection. Repair needed.

### 4. Fuel - Gas Supply

Observations:

- Public Gas Service: Meter, shutoff valve and vented regulator noted in basement.
- Gas supply used for cooking only.



Public Gas Service: Meter, shutoff valve and vented regulator noted in basement. Gas supply presently used for cooking only.

### 5. Fuel - Oil Supply

Observations:

- Oil tank Buried underground at the front exterior of the house.
- ProSpec Home Inspection does not determine the integrity or construction of underground fuel storage tanks. Underground oil tanks pose an environmental problem should they leak and can be costly to clean up. We recommend having the Seller test the tank for leaks and replace the tank should it not pass the leak test prior to settlement; for more info go to <http://www.dec.ny.gov/chemical/32263.html>
- Underground oil tanks pose an environmental problem should they leak and can be costly to clean up. We recommend requesting to have the Seller test the tank for leaks prior to settlement; for more info go to <http://www.dec.ny.gov/chemical/32263.html>

## HEATING Continued



Oil lines to underground fuel storage tank.



Oil tank Buried underground at the front exterior of the house.



Oil tank Buried underground at the front exterior of the house.

### 6. Furnace Venting

#### Observations:

- **COMBUSTION AIR** REQUIRED: The room containing fuel-burning appliances and all communicating spaces must have a combined volume of not less than 50 cubic feet per 1,000 Btu/h of the combined input rating of all appliances installed in that space. Two permanent louvered openings connecting adjacent spaces shall be provided: one within 12 inches from the ceiling and one within 12 inches from the floor of the adjoining spaces. The net free area of each opening shall be a minimum of 1 square inch per 1,000 Btu/h of the aggregate input rating of the installed appliances and shall not be less than 100 square inches. The openings are not required if a fully louvered door to the furnace room is provided.
- Metal single wall vent pipe noted.
- Visible portions of the vent pipes appeared functional.
- Maintain sealed connection between equipment vent pipe and chimney wall.

## HEATING Continued



Maintain sealed connection between equipment vent pipe and chimney wall.



**COMBUSTION AIR REQUIRED:** The room containing fuel-burning appliances and all communicating spaces must have a combined volume of not less than 50 cubic feet per 1,000 Btu/h of the combined input rating of all appliances installed in that space. Two permanent louvered openings connecting adjacent spaces shall be provided: one within 12 inches from the ceiling and one within 12 inches from the floor of the adjoining spaces. The net free area of each opening shall be a minimum of 1 square inch per 1,000 Btu/h of the aggregate input rating of the installed appliances and shall not be less than 100 square inches. The openings are not required if a fully louvered door to the furnace room is provided.

### 7. Heat Distribution

- Single-zone heating system noted.
- Radiators
- Black iron and Copper piping noted.
- Some sections of heating pipe insulation appears to contain asbestos. This material appeared to be in serviceable condition at the time of inspection. Asbestos materials are considered safe by the EPA if they are not disturbed, torn, ripped, or damaged. No torn, ripped, or damaged materials were observed. If client has any concerns regarding asbestos materials, an asbestos testing lab should be consulted for further review to ensure safety. Other options include encapsulation to prevent material from becoming friable or removal following EPA guidelines. Replace with new pipe insulation such as foam or fiberglass type.

## HEATING Continued



Some sections of heating pipe insulation appears to contain asbestos. This material appeared to be in serviceable condition at the time of inspection. Asbestos materials are considered safe by the EPA if they are not disturbed, torn, ripped, or damaged. No torn, ripped, or damaged materials were observed. If client has any concerns regarding asbestos materials, an asbestos testing lab should be consulted for further review to ensure safety. Other options include encapsulation to prevent material from becoming friable or removal following EPA guidelines. Replace with new pipe insulation such as foam or fiberglass type.



Friable asbestos insulation noted. Heating pipe insulation appears to contain asbestos. This material appeared to be in serviceable condition at the time of inspection. Asbestos materials are considered safe by the EPA if they are not disturbed, torn, ripped, or damaged. No torn, ripped, or damaged materials were observed. If client has any concerns regarding asbestos materials, an asbestos testing lab should be consulted for further review to ensure safety. Other options include encapsulation to prevent material from becoming friable or removal following EPA guidelines. Replace with new pipe insulation such as foam or fiberglass type.

### 8. Service Recommendation

- \*Annual Heating Service contract is recommended for Oil-Fired Heating Equipment.

# Smoke/CO Detectors

## 1. Smoke/CO Detectors

### Observations:

- LIFE SAFETY: Maintain functioning Smoke and Carbon Monoxide detectors at each level of the home for Life Safety. Detectors are generally reliable for up to 5 yrs.



LIFE SAFETY: Maintain functioning Smoke and Carbon Monoxide detectors at each level of the home for Life Safety. Detectors are generally reliable for up to 5 yrs.

# PLUMBING

## 1. Plumbing



Slop sink in laundry room

## 2. Water Service Entrance

### Observations:

- Public water service entrance located at basement front wall.
- **Water Service Entrance: 3/4" Lead pipe, meter and shut-off valves. Recommend having licensed electrician ensure that proper ground is installed.**



Water Service Entrance: 3/4" Lead pipe noted.



Water Service Entrance: 3/4" Lead pipe, meter and shut-off valves. Recommend having licensed electrician ensure that proper ground is installed.

## 3. Water Piping

### Observations:

- Supply Pipe Materials observed include: Copper / Brass.
- Most supply piping was concealed from visual inspection due to basement finishes.
- Cross connections: Unknown.
- Leaks: Some signs noted.
- \*All plumbing leaks need immediate repair prior to final walk-through / close.
- All pipes in unheated spaces should be insulated, (crawlspaces, exterior walls, etc.).
- **Slop Sink faucet leaks at handle; recommend faucet repair or replacement.**
- **Water piping in laundry room grounding observed. Recommend having licensed electrician ensure that proper plumbing grounding is installed.**

## PLUMBING Continued



Slop Sink faucet leaks at handle; recommend faucet repair or replacement.



Water piping in laundry room grounding observed. Recommend having licensed electrician ensure that proper plumbing grounding is installed.



Water piping in laundry room grounding observed. Recommend having licensed electrician ensure that proper plumbing grounding is installed.

### 4. Water Pressure

#### Observations:

- Generally, the water pressure in the home appeared lower than normal particularly when multiple uses in an area.

### 5. Waste/Drain/Vent Pipes

#### Observations:

- Waste disposal is public.
- Waste Pipe Exit located at the rear of the house. Whole-house trap with vent connection at basement north wall.
- Leaks: Some signs noted in basement.
- **Visible leaking under the slop sink. Source of existing leak(s) could not be determined; suggest Plumber to evaluate and repair.**
- **\*All plumbing leaks need immediate repair, prior to final walk-through / close.**

## PLUMBING Continued



Visible leaking under the slop sink. Source of existing leak(s) could not be determined; suggest Plumber to evaluate and repair.



Waste Pipe Exit located at the rear of the house. Whole-house trap with vent connection at basement north wall.

# Water Heater

## 1. WATER HEATER

### Description:

- Water heater located in the utility/boiler room.
- Tankless coil, integral with heating system.
- Water Heater service life expectancy is typically 12-15 yrs.



Tankless coil, integral with heating system.

## 2. Water Heater Condition

### Observations:

- Water heater was operable and in good condition.

# BATHROOMS

## 1. Bathroom#1 Description

First Floor Hall, Toilet, Vanity, Exhaust Fan, Window, Radiator heat noted, Ceramic tile Floor

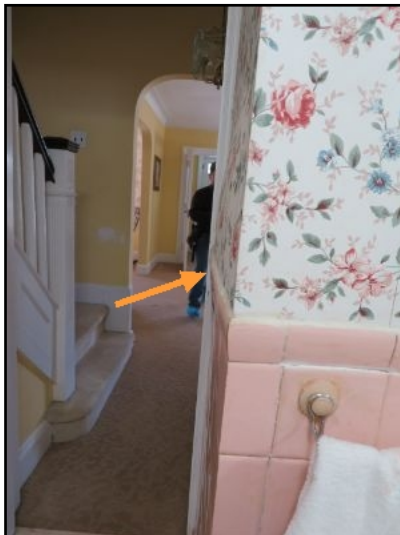


First Floor Hall

## 2. Bathroom#1 Condition

Observations:

- Wall tile grout missing.
- Bathroom missing wall outlet.
- Sink faucet leaks at base; recommend faucet repair or replacement.
- Bathroom walls bulged at few locations with tiles loosening. It's the inspectors opinion that these defects were caused by past water/plumbing leaks. Wall repairs required.
- Defects noted at ceiling/walls suspected to be caused by past water/plumbing leaks.



Bathroom walls bulged at few locations with tiles loosening. It's the inspectors opinion that these defects were caused by past water/plumbing leaks. Wall repairs required.

Bathroom walls bulged at few locations with tiles loosening. It's the inspectors opinion that these defects were caused by past water/plumbing leaks. Wall repairs required.

# BATHROOMS Continued



Wall tile grout missing.



Outer window sash off track.



Defects noted at ceiling/walls suspected to be caused by past water/plumbing leaks.



Defects noted at ceiling/walls suspected to be caused by past water/plumbing leaks.



Sink faucet leaks at base; recommend faucet repair or replacement.

# BATHROOMS Continued

## 3. Bathroom#2 Description

Second Floor Hall, Toilet, Vanity, Stall Shower , Built-in Tub, Window, Radiator heat noted, Resilient tile Floor, Ceramic tile Shower Wall



Second Floor Hall

## 4. Bathroom#2 Condition

### Observations:

- Sink water pressure/flow was poor when running other fixtures in one area.
- Bathroom floor pitched downward to shower base.
- Wall tile damaged/missing below sink; suggest repair(s).
- Light needed in stall shower.
- Wall tile grout missing.
- Light fixture receptacle not GFCI protected. Recommend installing GFCI protected receptacles. Refer to Electrical section.
- Bathroom missing wall outlet.
- Visible leaking under the sink at drain pipe connection. Plumber to evaluate and repair.
- Tub hot water valve handle stripped; could not test hot water at tub.

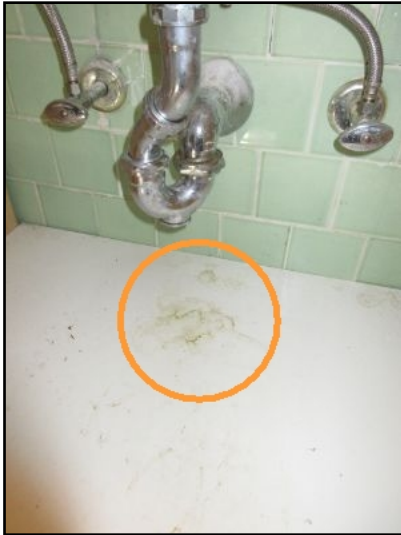


Bathroom floor pitched downward to shower base.



Bathroom floor pitched downward to shower base.

# BATHROOMS Continued



Visible leaking under the sink at drain pipe connection. Plumber to evaluate and repair.



Wall tile damaged/missing below sink; suggest repair(s).



Light needed in stall shower.



Tub hot water valve handle stripped; could not test hot water at tub.



Wall tile grout missing.

# BATHROOMS Continued

# KITCHEN - 1st Floor

## 1. Kitchen (First Floor)



Nook



KITCHEN - 1st Floor Kitchen (First Floor)



KITCHEN - 1st Floor Kitchen (First Floor)



Ceiling

## 2. GFCI / Receptacles

### Observations:

- Some existing electrical outlets are the older ungrounded 2-prong type. Suggest electrician install grounded 3-prong outlets.
- **Cover plate missing. Provide missing receptacle and switch cover plates.**

## KITCHEN - 1st Floor Continued



Cover plate missing. Provide missing receptacle and switch cover plates.

### 3. Lighting



Light switch not found

### 4. Vent Hood/Fan

- Exterior vented fan is recommended where gas appliances are in place.

## KITCHEN - 1st Floor Continued



Exterior vented fan is recommended where gas appliances are in place.

### 5. Sink(s)

#### Observations:

- Kitchen has a Ceramic sink.
- Rust noted at ceramic sink base.
- LEAK: Stains at sink cabinet floor, presumably from past leak(s) or spilled products.
- **Electric tape used for plumbing repair.**
- **Kitchen faucet spout leaked. Recommend repair or replacement.**



Electric tape used for plumbing repair.



LEAK: Stains at sink cabinet floor, presumably from past leak(s) or spilled products.

## KITCHEN - 1st Floor Continued



Rust noted at ceramic sink base.



Kitchen faucet spout leaked. Recommend repair or replacement.

### 6. Cabinets

#### Observations:

- Appeared functional and in satisfactory condition, at time of inspection.

### 7. Counters

#### Observations:

- Formica counter tops noted.
- No defects noted.

### 8. Range

#### Observations:

- Gas Range
- Range operated when tested. No warranties or guarantees of this or any other appliance can be offered.
- Range appeared to be approximately 5+ yrs old.



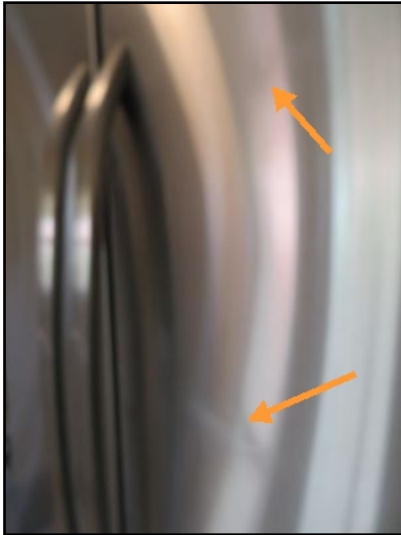
Range operated when tested. No warranties or guarantees of this or any other appliance can be offered.

## KITCHEN - 1st Floor Continued

### 9. Refrigerator(s)

Observations:

- Refrigerator/freezer operating and frost free.
- Refrigerator appears to be 5+ yrs old.
- Scratches noted.



Scratches noted.



Refrigerator/freezer operating and frost free.



Refrigerator appears to be 5+ yrs old.

### 10. Dishwasher

Observations:

- Dishwasher was operable.
- Dishwasher appeared to be approximately 5+ yrs old.

## KITCHEN - 1st Floor Continued



Dishwasher was operable.

### 11. Floor

- Vinyl squares (tiles) noted



Vinyl squares (tiles) noted

# LAUNDRY

## 1. Laundry

### Observations:

- Laundry in basement
- Leaks: None Observed
- Laundry receptacle is not GFCI protected. Refer to Electrical section.



Laundry in basement



Laundry receptacle is not GFCI protected. Refer to Electrical section.

## 2. Appliances

### Observations:

- Washer was operable.
- Estimated age of the Washer is 5+ yrs.
- Electric dryer was operable.
- Estimated age of the Dryer is 5+ yrs.

## 3. Dryer Vent

### Observations:

- The dryer vent pipe is crushed in spots. This should be replaced due to the fact that lint can accumulate in the crushed areas and catch fire.



The dryer vent pipe is crushed in spots. This should be replaced due to the fact that lint can accumulate in the crushed areas and catch fire.

# LAUNDRY Continued

## 4. Floor Condition

Materials: Vinyl squares (tiles) are noted

# INTERIOR

The Interior Areas section covers areas of the house that are not specifically part of the Kitchen, Bathrooms, Laundry, or areas covered elsewhere in the report. Interior Areas consist of general areas and items in the home. Within these areas the inspector performs a visual inspection and will report safety concerns, damage, wear and tear and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas, as the inspector generally does not move personal items.

## 1. Interior General



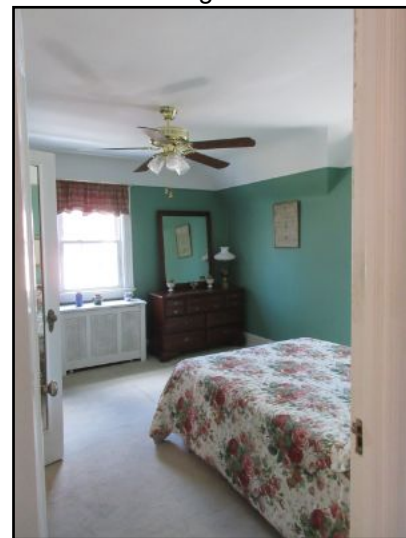
Rear Sitting room



Living room



West bedroom



Master bedroom

## 2. Door Bell

### Observations:

- Front door bell operated normally when tested.

## 3. Ceilings

### Descriptions:

- Drywall ceilings noted.
- Plaster ceilings noted.
- Acoustic tile ceiling noted.
- Hung ceiling noted.

# INTERIOR Continued



Hung ceiling noted in sitting room

## 4. Ceiling Conditions

### Observations:

- Signs of paint peeling and blistering on the dining room ceiling. The areas appeared dry at the time of the inspection, but should be monitored for further damage or possibly water intrusion.
- **Conditions above hung ceiling in Sitting room show evidence of past plumbing leak. Mold-Like bio-growth observed. Recommend professional testing, evaluation and possible abatement of mold.**



Conditions above hung ceiling in Sitting room show evidence of past plumbing leak. Mold-Like bio-growth observed. Recommend professional testing, evaluation and possible abatement of mold.



Conditions above hung ceiling in Sitting room show evidence of past plumbing leak. Mold-Like bio-growth observed. Recommend professional testing, evaluation and possible abatement of mold.

## INTERIOR Continued



Signs of paint peeling and blistering on the dining room ceiling. The areas appeared dry at the time of the inspection, but should be monitored for further damage or possibly water intrusion.

### 5. Walls

#### Descriptions:

- Drywall walls noted.
- Plaster walls noted.
- Wood paneling noted.
- Wall paper finish noted.

### 6. Wall Conditions

#### Observations:

- Evidence of repairs observed at 2nd floor bedroom ceiling, unable to determine the effectiveness of these repairs.
- Unfinished wall repairs observed at stairway walls.
- **Sitting room wall damage believed to be from past water/plumbing leak.**
- **Signs of past water penetration/damage at dining room window below window.**
- **Signs of past water penetration/damage at living room window below window.**



Sitting room wall damage believed to be from past water/plumbing leak.



Unfinished wall repairs observed at stairway walls.

# INTERIOR Continued



Signs of past water penetration/damage at dining room window below window.



Signs of past water penetration/damage at living room window below window.



Unfinished wall repairs observed at stairway walls.



Unfinished wall repairs observed at stairway walls.

## 7. Floors

## INTERIOR Continued



Hardwood floors beneath carpeting on 2nd floor.

### 8. Windows

Type:

- Insulated glass windows noted.
- Non-insulated, single pane glass windows noted.
- Wood framed Double Hung windows noted.
- Vinyl framed Double Hung windows noted.
- Aluminum framed triple-track storm windows noted.

### 9. Window Conditions

Observations:

- DEFERRED COST: Several windows are original, older wood type. Consider upgrading to thermally insulated windows.
- Peeling paint observed at outer window sills, suggest scraping and painting as necessary.
- Newer vinyl window in dining room appears to have been gnawed away at bottom of sash.
- Newer vinyl window manufactured in 2013 (5yrs old)
- Cracked outer glass pane noted; tape repaired. Recommend proper repair.
- Broken sash wire/cord observed on window frame. This is a "Safety Concern". Sash wire/cord holds window in open position. Suggest repairs/replacement as needed to ensure safety.
- Fog/condensation observed in thermopane window. This is an indication of a failed seal. Recommend review for repair or replacement as necessary.

# INTERIOR

# Continued



Cracked outer glass pane noted; tape repaired.  
Recommend proper repair.



DEFERRED COST: Several windows are original, older wood type. Consider upgrading to thermally insulated windows.



Newer vinyl window in dining room appears to have been gnawed away at bottom of sash.



Newer vinyl window manufactured in 2013 (5yrs old)

## INTERIOR Continued



Newer vinyl window in west bedroom room appears to have been gnawed away at sill frame.



Fog/condensation observed in thermopane window at west bedroom. This is an indication of a failed seal. Recommend review for repair or replacement as necessary.



Broken sash wire/cord observed on window frame. This is a "Safety Concern". Sash wire/cord holds window in open position. Suggest repairs/replacement as needed to ensure safety.

### 10. Doors

#### Observations:

- Several doors bind against frame and do not close properly. These appear to be the original doors. This is a sign of structural settlement.

# INTERIOR Continued



Several doors bind against frame and do not close properly. These appear to be the original doors. This is a sign of structural settlement.



Door binds against frame; Does not close properly.



Coat closet door binds against frame; Does not close properly.



Bedroom door binds against frame; Does not close properly.

## INTERIOR Continued



Several doors bind against frame and do not close properly. These appear to be the original doors. This is a sign of structural settlement.

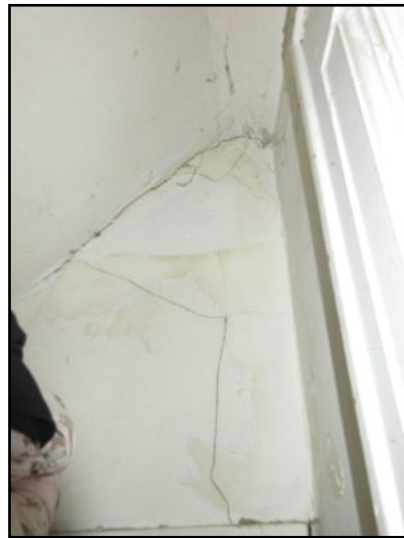
### 11. Closets

#### Observations:

- Cosmetic damage in west bedroom closet caused by structural settlement and subsequent neglect.
- Older clothes hanger rod not long enough; possible wall movement had occurred from structural settlement.
- Wall paper painted over at walk-in closet.



Cosmetic damage in west bedroom closet caused by structural settlement and subsequent neglect.

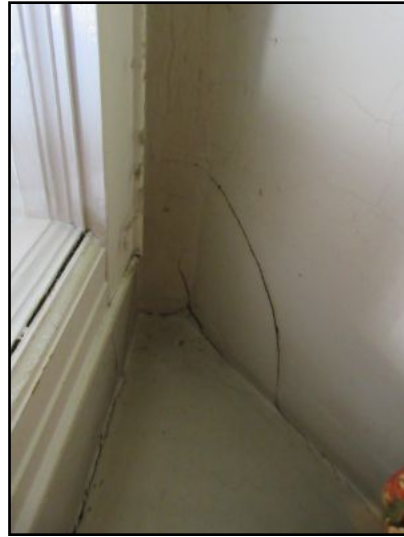


Cosmetic damage in west bedroom closet caused by structural settlement and subsequent neglect.

# INTERIOR Continued



Cosmetic damage in west bedroom closet caused by structural settlement and subsequent neglect.



Cosmetic damage in west bedroom closet caused by structural settlement and subsequent neglect.



Wall paper painted over at walk-in closet.



Cosmetic damage in master bedroom closet caused by structural settlement and subsequent neglect.



Older clothes hanger rod not long enough; possible wall movement had occurred from structural settlement.

# INTERIOR Continued

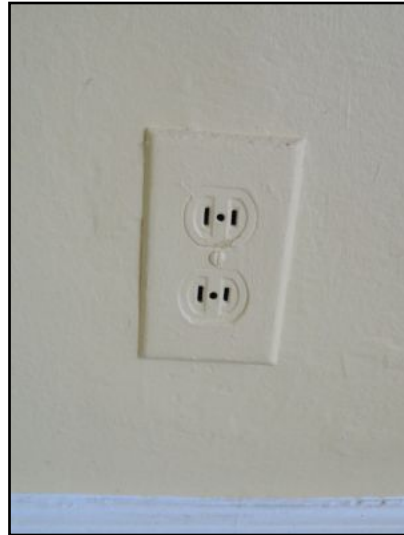
## 12. Electrical / Lighting

Observations:

- Existing electrical outlets are the older ungrounded 2-prong type. Suggest electrician install grounded 3-prong outlets.
- **Bedroom light fixture not operable and not securely mounted. Suggest electrician evaluate and repair.**



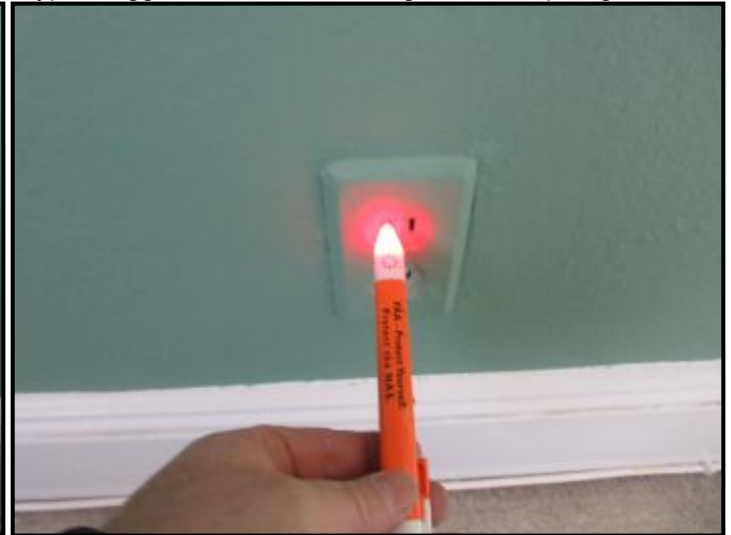
Existing electrical outlets are the older ungrounded 2-prong type. Suggest electrician install grounded 3-prong outlets.



Existing electrical outlets are the older ungrounded 2-prong type. Suggest electrician install grounded 3-prong outlets.



Existing electrical outlets are the older ungrounded 2-prong type. Suggest electrician install grounded 3-prong outlets.



Power noted at 2 prong outlets.

# INTERIOR Continued



Power noted at 2 prong outlets.



Bedroom light fixture not operable and not securely mounted. Suggest electrician evaluate and repair.

## 13. Smoke/CO Detectors

### Observations:

- LIFE SAFETY: Maintain functioning Smoke and Carbon Monoxide detectors at each level of the home for Life Safety. Detectors are generally reliable for up to 5 yrs.



LIFE SAFETY: Maintain functioning Smoke and Carbon Monoxide detectors at each level of the home for Life Safety. Detectors are generally reliable for up to 5 yrs.



LIFE SAFETY: Maintain functioning Smoke and Carbon Monoxide detectors at each level of the home for Life Safety. Detectors are generally reliable for up to 5 yrs.

# INTERIOR Continued



LIFE SAFETY: Maintain functioning Smoke and Carbon Monoxide detectors at each level of the home for Life Safety. Detectors are generally reliable for up to 5 yrs.

## 14. Fireplace(s)

Description:

- Living Room fireplace noted.
- Masonry fireplace(s) noted.

## 15. Fireplace Conditions

Observations:

- Fireplace enclosure in contact with damper lever, preventing proper operation of both the enclosure and damper.
- Damper was opened and closed several times; operation is difficult; requires much force to turn lever.
- Proper ash dump door was missing. Suggest replacement.



Fireplace enclosure in contact with damper lever, preventing proper operation of both the enclosure and damper.

Damper was opened and closed several times; operation is difficult; requires much force to turn lever.

# INTERIOR Continued



Proper ash dump door was missing. Suggest replacement.



Fireplace clean-out door in boiler room.

## 16. Ceiling Fans

### Observations:

- Operated normally when tested, at time of inspection.

# ROOF

As with all areas of the house, we recommend that you examine the roof prior to closing to ensure that any potential leaks are addressed. Note that walking on a roof voids some manufacturer's warranties. Adequate attic ventilation, solar / wind exposure, and organic debris all affect the life expectancy of a roof. Always ask the seller about the history of the roof. On any home that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability and verify number of layers the roof areas. We certainly recommend this for any roof over 5 years of age.

## 1. Roof General

- Asphalt shingles noted.
- One layer of asphalt shingles noted.
- Inspected: Walked on lower roof. Upper roof inspected from ground level and with zoom lens.
- Some areas of roof are obscured from view.
- Partially snow covered, not fully inspected.



One layer of asphalt shingles noted.



Partially snow covered, not fully inspected.

## 2. Roof Condition

### Observations:

- House top asphalt roof covering appeared to be approximately 8-10 yrs old.
- Siding-to-Roof Contact: Check for moisture damage. Recommend a 1" gap between the siding and the roofing below where necessary.
- Signs of conditions that can lead to roof leaks.
- Roof ventilation may be inadequate due to a perceived lack of cross venting; this may contribute to premature roof failure, conducive conditions for mold growth in attic, and/or high heating/cooling bills. Consider further evaluation by qualified contractor.
- Roof ridge beam appeared straight and even.

## ROOF Continued



House top asphalt roof covering appeared to be approximately 8-10 yrs old.



Roof ridge beam appeared straight and even.



No major system safety or function concerns noted for the visible portions of the roof.

### 3. Flashing

#### Observations:

- Typical maintenance necessary, now and on an annual or semi-annual basis. This generally consists of resealing gaps at through-the-roof projections and at the parapet walls as necessary.
- Proper step flashing not evident.
- Copper flashing visible around chimney.
- J-channel missing at east side of lower part of dormer.

# ROOF Continued



Copper flashing visible around chimney.



J-channel missing at east side of lower part of dormer.



Chimney flashing appear intact and functional.

## 4. Vents

Observations: Ridge vent only, noted for attic ventilation.

# CHIMNEY

## 1. Chimney

- Combined fireplace and furnace chimney brick enclosure noted.
- Chimney crown cement not visible from ground. Suggest chimney contractor inspect further to ensure there's no water intrusion here..
- Boiler chimney flue liner was not visually accessible. Recommend chimney contractor check to see if a s.s. chimney liner was installed at time of the boiler update. Combined chimney requires a flue liner for boiler.



Combined fireplace and furnace chimney brick enclosure noted.



Boiler chimney flue liner was not visually accessible. Recommend chimney contractor check to see if a s.s. chimney liner was installed at time of the boiler update. Combined chimney requires a flue liner for boiler. Chimney crown cement not visible from ground. Suggest chimney contractor inspect further to ensure there's no water intrusion here.

# EXTERIOR

This section describes the exterior wall coverings and trim. Inspectors are required to inspect the exterior wall coverings, flashing, trim, all exterior doors, the stoops, steps porches and their associated railings, any attached decks and balconies and eaves, soffits and fascias accessible from ground level.

## 1. Gutters & Down Spouts

Observations: Gutter guards noted.  
Aluminum gutters & downspouts noted.  
Crushed downspout extensions noted.

**Downspout extension missing. Recommend extending downspouts 4 ft minimum where possible to direct run-off away from the foundation and prevent water seepage through foundation walls.**



Crushed downspout extension noted.



Crushed downspout extension noted.



Downspout extension missing. Recommend extending downspouts 4 ft minimum where possible to direct run-off away from the foundation and prevent water seepage through foundation walls.



Downspout extension missing. Recommend extending downspouts 4 ft minimum where possible to direct run-off away from the foundation and prevent water seepage through foundation walls.

## 2. Masonry Veneer

Observations:

- Distorted/bloated and cracked bricks noted at house and garage exteriors. This appears to be from a process defect, such as underburning of brick which results in a higher degree of water absorption and less compressive strength. Water absorption combined with frost weathering may have caused the excessive brick face cracks observed.
- Settlement crack noted at lower wall by driveway. Suggest mortar repair.
- Settlement crack noted above window **inte**. Suggest repair.

## EXTERIOR Continued



Distorted/bloated and cracked bricks noted at house and garage exteriors. This appears to be from a process defect, such as underburning of brick which results in a higher degree of water absorption and less compressive strength. Water absorption combined with frost weathering may have caused the excessive brick face cracks observed.



Distorted/bloated and cracked bricks noted at house and garage exteriors. This appears to be from a process defect, such as underburning of brick which results in a higher degree of water absorption and less compressive strength. Water absorption combined with frost weathering may have caused the excessive brick face cracks observed.



Settlement crack noted above window lintel. Suggest repair.



Settlement crack noted at lower wall by driveway. Suggest mortar repair.

### 3. Exterior Trim

#### Observations:

- Some defects observed at fascia and soffit aluminum cladding. Suggest repairs to prevent water intrusion.

## EXTERIOR Continued



Some defects observed at fascia and soffit aluminum cladding. Suggest repairs to prevent water intrusion.



Some defects observed at fascia and soffit aluminum cladding. Suggest repairs to prevent water intrusion.

### 4. Windows

#### Observations:

- Original wood framed single pane basement windows are neglected. Recommend replacing with insulated vinyl clad windows.
- Deterioration of wooden frames noted.
- In the inspectors opinion the windows/frames are near the end of their useful life.



Deterioration of wooden frames noted. In the inspectors opinion the windows/frames are near the end of their useful life.



Deterioration of wooden frames noted.

### 5. Window Wells

#### Observations:

- Masonry window wells with steel grating noted.
- **Basement window well grate covered by vegetation where dryer vent exhausts. This must be kept clean since the warm moisture provided excellent conditions for termites. Refer to noted termite activity in laundry room.**
- Mortar damage noted at window wells. Repair and ensure gratings are secure.

# EXTERIOR Continued



Mortar damage noted at window wells. Repair and ensure gratings are secure.



Masonry window wells with steel grating noted.



Masonry window wells with steel grating noted.



Mortar damage noted at window wells. Repair and ensure gratings are secure.

## EXTERIOR Continued



Basement window well grate covered by vegetation where dryer vent exhausts. This must be kept clean since the warm moisture provided excellent conditions for termites. Refer to noted termite activity in laundry room.

### 6. North exterior



EXTERIOR North exterior



EXTERIOR North exterior

### 7. South exterior

# EXTERIOR Continued



EXTERIOR South exterior

## 8. East exterior



EXTERIOR East exterior

## 9. West exterior

# EXTERIOR Continued



EXTERIOR West exterior



EXTERIOR West exterior

# GARAGE

## 1. Garage General

Observations:

- Standing water observed inside east wall from snow melting alongside of garage and lack of proper roof drainage system. Suggest improving drainage here and adding gutters w/downspouts to control runoff and prevent water intrusion.



Distorted bricks observed at garage walls.



GARAGE Garage General



GARAGE Garage General



GARAGE Garage General

## GARAGE Continued



GARAGE Garage General



Vegetation (vines) growing up under roof covering can cause leaks. Recommend removing this vegetation.



Standing water observed inside east wall from snow melting alongside of garage and lack of proper roof drainage system. Suggest improving drainage here and adding gutters w/downspouts to control runoff and prevent water intrusion.

### 2. Garage Roof

Materials: Asphalt shingles noted.

Materials: Inspected: Visually accessible from ground.

Observations:

- Moss on roof. This can lead to the premature failure of the roof and subsequent leaks. Recommend treating moss during its growing season (wet months) with a moss killer. For information on various moss treatment products and their pros and cons, visit <http://bryophytes.science.oregonstate.edu/page24.htm>
- Vegetation (vines) growing up under roof covering can cause leaks. Recommend removing this vegetation.
- **Decay noted at several roof board locations.**
- **Garage roof gutters and downspouts missing. Recommend adding these to direct water away from the foundation and prevent water intrusion.**

## GARAGE Continued



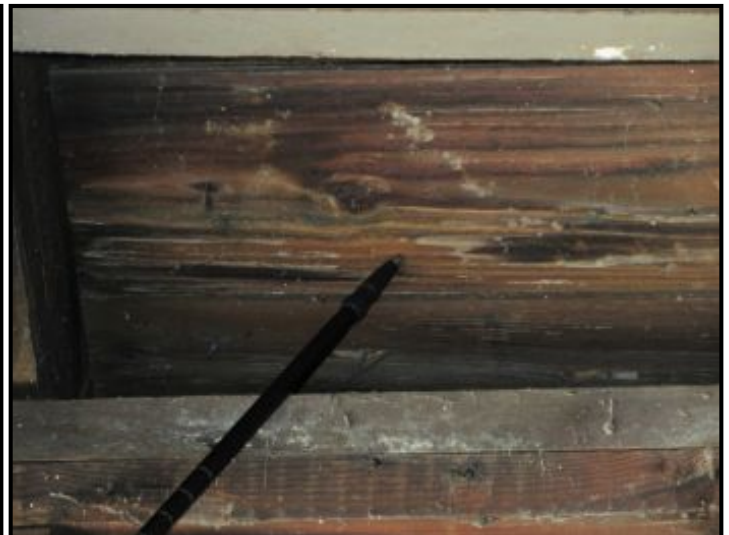
Moss on roof. This can lead to the premature failure of the roof and subsequent leaks. Recommend treating moss during its growing season (wet months) with a moss killer. For information on various moss treatment products and their pros and cons, visit <http://bryophytes.science.oregonstate.edu/page24.htm>



Garage roof gutters and downspouts missing. Recommend adding these to direct water away from the foundation and prevent water intrusion.



Garage roof gutters and downspouts missing. Recommend adding these to direct water away from the foundation and prevent water intrusion.



Decay noted at several roof board locations.

## GARAGE Continued



Roof board repairs noted.

### 3. Garage Structure

#### Observations:

- Limited review due to stored items / clutter.
- Roof ridge beam sagging slightly.
- Indications of past or present water leaks, seeps, or condensation at eaves.
- No signs of previous treatment for termites was observed at garage.
- Sections of the wall boards covered over. Although termite activity was not observed here, wood to soil contact at east wall is an invitation to termites. Refer to NPMA-33 report form for treatment recommendation.
- Extensive decay of wall boards noted.
- Decay of roof boards and studs noted.
- Termite damage noted at garage door jamb. Refer to NPMA-33 report form.
- Recommend qualified framing contractor to evaluate and provide the needed repairs.



Termite damage noted at garage door jamb. Refer to NPMA-33 report form.



Extensive decay of wall boards noted.

## GARAGE Continued



Sections of the wall boards covered over. Although termite activity was not observed here, wood to soil contact at east wall is an invitation to termites. Refer to NPMA-33 report form for treatment recommendation.



Extensive decay of wall boards and studs noted.



Decay of wall boards and studs noted.



Wood to soil contact at east wall is an invitation to termites.

### 4. Floor

#### Observations:

- Bare concrete floor noted.
- Common cracks noted.
- Water seepage up through floor crack noted.
- Standing water observed near east wall.

## GARAGE Continued



Water seepage up through floor crack noted.



Standing water observed near east wall from snow melting alongside of garage.

### 5. Lighting

Observations:

- Light switch missing/inoperable.



Light switch missing/inoperable.

### 6. Garage Door Condition

Materials: Roll-up door noted.

Observations:

- Roll up doors were operable.

### 7. Garage Opener Status

Observations:

- Chain drive opener noted.
- The garage door opener is functional, safety features are built in.

# GARAGE Continued

## 8. Garage Door's Reverse Status

Observations:

- Door resistance triggered the auto-reverse mechanism.
- No eye beam system present. This appears to be an older unit when these safety features were not included with openers. We recommend upgrading to a newer model with all safety features included.

# GROUNDS

## 1. Driveway

### Observations:

- Asphalt driveway noted.
- Moderate cracks in driveway. Repair and / or monitor for expansion and development of trip hazards.
- Asphalt driveways require sealing every 3-5 yrs to prevent freeze/thaw damage.



Asphalt driveways require sealing every 3-5 yrs to prevent freeze/thaw damage.



Moderate cracks in driveway. Repair and / or monitor for expansion and development of trip hazards.

## 2. Sidewalk & Walkway

### Observations:

- Concrete sidewalks noted.
- Concrete walkway(s) noted.
- Sidewalks: No major system safety or function concerns noted at time of inspection.



Sidewalks: No major system safety or function concerns noted at time of inspection.

## 3. Fencing / Gates

## GROUNDS Continued



GROUNDS Fencing / Gates

### 4. Vegetation

#### Observations:

- Ivy vines grow aggressively and can damage siding, block vents and provide a pathway for insects. We recommend removal.
- Prune or remove any plants that are in contact or proximity to home to eliminate pathways of wood destroying insects.
- Trim trees/shrubs that are in contact or proximity to home, as branches can abrade siding and damage roofing.



Trim trees/shrubs that are in contact or proximity to home, as branches can abrade siding and damage roofing.

# Steps & Handrails

## 1. Steps & Handrails

### Observations:

- Brick Steps noted.
- Metal **Handrail**s noted.
- Some repointing needed.



Some repointing needed.

# Porch Area

## 1. Porch



Porch Area Porch



Water damage at base of porch roof posts (2 plcs). Recommend replacing decayed wood.



Water damage at base of porch roof posts (2 plcs). Recommend replacing decayed wood.

## 2. Porch Roof

Roof Type: The patio/porch roof is the same as main structure. • Asphalt shingles noted.

Observations:

- Water damage at base of porch roof posts (2 plcs). Recommend replacing decayed wood.

# General Remarks

## 1. General

### GENERAL REMARKS:

You are advised to acquire estimates of repair as to any major defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs, further inspect the condition in order to discover and repair related problems that may not be identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to **closing** or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including HVAC professionals, electricians, engineers or roofers.

### PRE-CLOSING WALK THROUGH:

The walk-through prior to closing is the time for Client to review and inspect the property. Conditions can change between the time of the home inspection and the time of closing. Restrictions that existed during the inspection may have been removed for the walk-through. Defects or problems that were not evident during the home inspection may be discovered during the walk-through. Client should be thorough during the walk-through.

Any defect or problem discovered during the walk-through should be negotiated with the owner/seller of the property prior to closing. Purchasing the property with a known defect or problem releases ProSpec Home Inspection of all responsibility. Client assumes responsibility for all known defects after settlement.

### CONCLUSION:

We are proud of our service, and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components, and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window or door, or identified every problem. Also because our inspection is essentially visual, latent defects could exist. We can not see behind walls. Therefore, you should not regard our inspection as a guarantee or warranty. It is simply a report on the general condition of a property at a given point in time. As a homeowner, you should expect problems to occur. Roofs will leak, basements may have water problems, and systems may fail without warning. We can not predict future events. For these reasons, you should keep a comprehensive insurance policy current.

This report was written exclusively for our Client. It is not transferable to other people. The report is only supplemental to a seller's disclosure.

Thank you for taking the time to read this report, and call us if you have any questions. We are always attempting to improve the quality of our service and our report.

If you have further questions, please contact the author of this report.

Thank You for choosing ProSpec for your Home Inspection!

# THERMOGRAPHY

## 1. Insulation

### Observations:

- Darker (cooler) area at living room south wall indicates a lack of insulation. Suggest adding blown-in loose fill type insulation.
- Darker (cooler) area at living room west wall around window indicates a lack of insulation and window infiltration. Suggest updating original windows, adding insulation to wall and window frame.
- Dining room east wall is representative of the exterior wall insulation in the home. Typical insulation here is 3 inches thick, estimated at R-9.5. This may be improved only slightly due to the limited wall cavity of 3.5".
- Deficient insulation noted at west bedroom corner wall.



West bedroom southeast wall represents the average thermal condition for the home. Typical insulation here is 3 inches thick, estimated at R-9.5. This may be improved only slightly due to the limited wall cavity of 3.5".



Darker (cooler) area at living room south wall indicates a lack of insulation. Suggest adding blown-in loose fill type insulation.



Dining room east wall is representative of the exterior wall insulation in the home. Typical insulation here is 3 inches thick, estimated at 9.5. This may be improved only slightly due to the limited wall cavity of 3.5". This may be improved only slightly due to the limited wall cavity of 3.5".

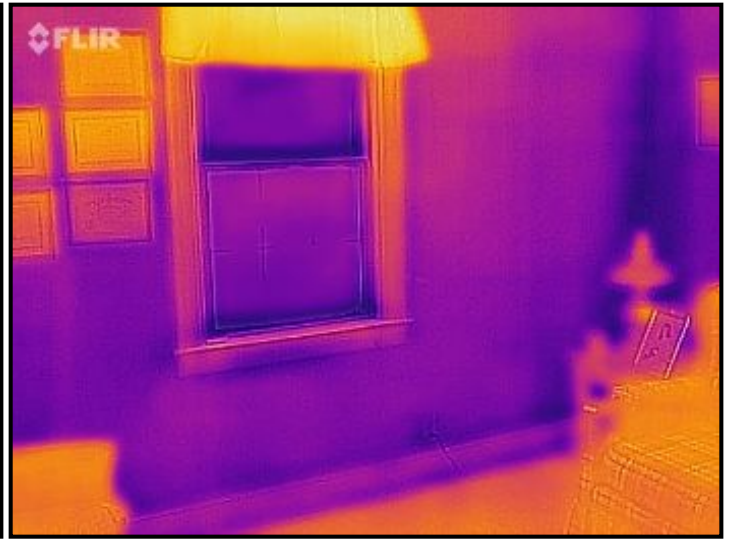


Darker (cooler) area at living room west wall around window indicates a lack of insulation and window infiltration. Suggest updating original windows, adding insulation to wall and window frame.

# THERMOGRAPHY Continued



Living room northwest wall.



Sitting room west wall.



Deficient insulation noted at west bedroom corner wall.

## Glossary

Term	Definition
Breaker	A circuit breaker is an automatically operated electrical switch designed to protect an electrical circuit from damage caused by excess current from an overload or short circuit. Its basic function is to interrupt current flow after a fault is detected.
CO	Carbon monoxide (CO) is a colorless, odorless, poisonous gas that forms from incomplete combustion of fuels, such as natural or liquefied petroleum gas, oil, wood or coal. Any fuel-burning appliances which are malfunctioning or improperly installed can be a source of CO.
Chimney Liner	Chimney liners are a protective barrier usually made of metal such as stainless steel. Liners insulate heat moving through the chimney, protecting flammable areas of your home's structure. They also protect flue masonry chimneys from cracks or crumbling mortar due to repeated heating and cooling. Chimney liners create a clear and direct path for smoke to exit your home safely and efficiently. Without one, your chimney walls will eventually deteriorate and smoke will be able to seep through any cracks. When your chimney can't effectively release smoke outside, it greatly increases the risk of a chimney fire.
Closing	Closing is the final transaction between a buyer and seller of real property. At the closing, all agreements between buyer and seller are finalized, documents are signed and exchanged, money passes to the seller, and title to the property passes to the buyer.
Combustion Air	Combustion air is the air that is used to actually burn the fuel. Without combustion air, which is normally introduced into the furnace, combustion is impossible. Vents or ductwork is installed to bring fresh air to fuel-burning appliances such as a furnace or hot water heater. The standard is to have two separate fresh air vents into the room: one high and one low.
Contractor	The term "Contractor" used throughout the report refers to a qualified person or entity meeting the following: <ul style="list-style-type: none"> <li>• Is licensed (trade-specific) in the State of New York</li> <li>• Is insured</li> <li>• Has an account in good standing</li> <li>• Has a contractor's bond</li> <li>• Has a minimum of 5 years experience</li> <li>• Does quality work</li> <li>• Can provide references</li> <li>• Can provide the best possible product choices available to property owners</li> </ul>
GFCI	A Ground-Fault Circuit Interrupter (GFCI) is the only protection device designed to protect people against electric shock from an electrical system. It is capable of de-energizing the circuit when even a small amount of current is flowing through the grounding system.
HVAC	Heating, Ventilating and Air Conditioning
Handrail	A horizontal or sloping rail intended for grasping by the hand for guidance or support.

Lintel	Lintels are steel angles that span masonry wall openings over windows and doors to support the masonry above the opening.
Pipe Insulation	<p>Pipe Insulation is used for the following benefits:</p> <ul style="list-style-type: none"> <li>-Prevent freezing: pipe insulation reduces the risk of pipe bursts in domestic water and hydronic heating applications.</li> <li>-Minimize heat loss: pipe insulation helps hot water pipe retain more heat, potentially saving energy and reducing hot water wait times.</li> <li>-Minimize heat gain: pipe insulation blocks heat absorption, keeping drinking water as cold as possible and increasing efficiency in refrigeration and air conditioning systems.</li> <li>-Prevent condensation: insulation can stop pipes from “sweating” during hot/humid times of the year.</li> </ul>
Riser	A stair riser is the back, vertical part of a step. Staircase riser height translates to the distance you move your foot either up or down from one step to an adjacent step. This should be no more than 7 3/4 inches.
TPR	Temperature/Pressure Relief or TPR valves are safety devices installed on water heating appliances, such as boilers and domestic water supply heaters. TPRs are designed to automatically release water in the event that pressure or temperature in the water tank exceeds safe levels.
Thermostat	A device that automatically regulates temperature by activating or deactivating HVAC equipment when the temperature reaches a certain point. A Programmable Thermostat automatically sets back the temperature in your home based upon a predetermined schedule, while a non-programmable thermostat will stay at the same temperature 24 hours a day. You can set up a predetermined schedule and the thermostat will automatically adjust as you would like it to.

Name: Scott Valane  
(516) 426-6978  
ps.valane@gmail.com

Address: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

City: \_\_\_\_\_

State, Zip: \_\_\_\_\_

Property Location

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213 Glenmore St, E. Williston NY 11596

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This is our report of a visual inspection of the readily accessible areas of this building, in accordance with the terms and conditions contained in the PRE-INSPECTION AGREEMENT, which is a part of this report and incorporated herein. Please read the REMARKS printed on each page and call us for an explanation of any aspect of this report, written or printed, which you do not fully understand.

Date of Inspection: 3/24/2018 Time: 12:00 PM Weather conditions: Sunny Outside temperature: 51°F

### PRE-INSPECTION AGREEMENT

(PLEASE READ CAREFULLY)

COMPANY agrees to conduct an inspection for the purpose of informing the CUSTOMER of major deficiencies in the conditions of the property. The inspection and report are performed and prepared for the sole, confidential and exclusive use and possession of the CUSTOMER. The written report will include the following only:

- structural condition and basement
- electrical, plumbing, hot water heater, heating and air conditioning
- quality, condition and life expectancy of major systems
- general interior, including ceilings, walls, floors, windows, insulation and ventilation
- kitchen and appliances
- general exterior, including roof, gutter, chimney, drainage, grading

It is understood and agreed that this inspection will be of readily accessible areas of the building and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be dismantled.

Maintenance and other items may be discussed, but they are not a part of our inspection. The report is not a compliance inspection or certification for past or present governmental codes or regulations of any kind.

The inspection and report do not address and are not intended to address the possible presence of or danger from any potentially harmful substances and environmental hazards including but not limited to radon gas, lead paint, asbestos, urea formaldehyde, toxic or flammable chemicals, and water and airborne hazards. Also excluded are inspections of and reports on swimming pools, wells, septic systems, security systems, central vacuum systems, water softeners, sprinkler systems, fire and safety equipment and the presence or absence of rodents, termites and other insects.

The parties agree that the COMPANY, and/or its agents and employees, assume no liability or responsibility for the cost of repairing or replacing any unreported defect or deficiency, either current or arising in the future, or for any property damage, consequential damage or bodily injury of any nature. THE INSPECTION AND REPORT ARE NOT INTENDED OR TO BE USED AS A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, REGARDING THE ADEQUACY, PERFORMANCE OR CONDITION OF ANY INSPECTED STRUCTURE, ITEM OR SYSTEM. COMPANY IS NOT AN INSURER OF ANY INSPECTED CONDITIONS.

It is understood and agreed that should COMPANY and/or its agents or employees be found liable for any loss or damages resulting from a failure to perform any of its obligations, including but not limited to negligence, breach of contract, or otherwise, then the liability of COMPANY and/or its agents and employees shall be limited to a sum equal to the amount of the fee paid by the CUSTOMER for the inspection and report.

Acceptance and understanding of this agreement are hereby acknowledged:

Russ Classi 3/24/2018 X Scott Valane 3/24/2018  
 Company Representative Date Customer Date

### PAYMENT RECORD

Total Fee \$ 650.00 Paid By:  Check  Cash  Visa  Master Card  Amer. Express  To Be Paid

Account No: \_\_\_\_\_ Name on Card: \_\_\_\_\_ Exp. Date: \_\_\_\_\_

Company Representative: \_\_\_\_\_ Date: \_\_\_\_\_

# Wood Destroying Insect Inspection Report

Notice: Please read important consumer information on page 2.

## Section I. General Information

Inspection Company, Address & Phone

ProSpec Engineering, PLLC  
1911 State Street  
Merrick, NY 11566

Company's Business Lic. No.

080096-1

Date of Inspection

03/24/2018

Address of Property Inspected

213 Glenmore St, E. Williston NY 11596

Inspector's Name, Signature & Certification, Registration, or Lic. #

Russell Classi,  
T1837109

Structure(s) Inspected

House & Garage

## Section II. Inspection Findings

This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or defects. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

**A. No visible** evidence of wood destroying insects was observed.

**B. Visible** evidence of wood destroying insects was observed as follows:

1. Live insects (description and location): \_\_\_\_\_

2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location): \_\_\_\_\_

Frass and exit holes observed at joists, sill plate and vertical studs located in boiler room above west, north and south found. walls.

Frass, shelter tubes and exit holes observed at joists and sill plate in laundry and crawlspace along east & north foundation walls.

3. **Visible** damage from wood destroying insects was noted as follows (description and location): \_\_\_\_\_ Termite damage noted at band joist,

sill plate and vertical studs located in boiler/gas meter rooms at west, north and south foundation walls. Also, at garage door jamb.

Extensive termite damage noted at joists and sill plate in laundry and crawlspace along east & north foundation walls.

**NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present.** If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

Yes  No  It appears that the structure(s) or a portion thereof may have been previously treated. Visible evidence of possible previous treatment: \_\_\_\_\_

The inspecting company can give no assurances with regard to work done by other companies. The company that performed the treatment should be contacted for information on treatment and any warranty or service agreement which may be in place.

## Section III. Recommendations

No treatment recommended: (Explain if Box B in Section II is checked) \_\_\_\_\_

Recommend treatment for the control of: TERMITES

## Section IV. Obstructions and Inaccessible Areas

The following areas of the structure(s) inspected were obstructed or inaccessible:

Basement 1, 3, 6, 24

Crawlspace 11

Main Level 1, 3, 4, 6, 9

Attic Eave spaces: 5

Garage 1, 3, 6, 7, 14

Exterior 17

Porch 17

Addition 1, 3, 4

Other \_\_\_\_\_

The inspector may write out obstructions or use the following optional key:

- |                         |  |
|-------------------------|--|
| 1. Fixed ceiling        | 13. Only visual access                 |
| 2. Suspended ceiling    | 14. Cluttered condition                |
| 3. Fixed wall covering  | 15. Standing water                     |
| 4. Floor covering       | 16. Dense vegetation                   |
| 5. Insulation           | 17. Exterior siding                    |
| 6. Cabinets or shelving | 18. Window well covers                 |
| 7. Stored items         | 19. Wood pile                          |
| 8. Furnishings          | 20. Snow                               |
| 9. Appliances           | 21. Unsafe conditions                  |
| 10. No access or entry  | 22. Rigid foam board                   |
| 11. Limited access      | 23. Synthetic stucco                   |
| 12. No access beneath   | 24. Duct work, plumbing, and/or wiring |

## Section V. Additional Comments and Attachments (these are an integral part of the report)

Attachments \_\_\_\_\_

**Signature of Seller(s)** or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.

X

**Signature of Buyer.** The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.

X

# Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

- 1. About the Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection. ***For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms.*** **This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection. This shall not be construed as a 90-day warranty. There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.**
- 2. Treatment Recommendation Guidelines Regarding Subterranean Termites:** FHA and VA require treatment when any active infestation of subterranean termites is found. If signs of subterranean termites — but no activity — are found in a structure that shows no evidence of having been treated for subterranean termites in the past, then a treatment should be recommended. A treatment may also be recommended for a previously treated structure showing evidence of subterranean termites — but no activity — if there is no documentation of a liquid treatment by a licensed pest control company within the previous five years unless the structure is presently under warranty or covered by a service agreement with a licensed pest control company.
- 3. Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.
- 4. Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.
- 5. Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.**